



PLANNING AND
DEVELOPMENT
City Hall
655 Main Street
Moncton, NB
Canada E1C 1E8

URBANISME ET
AMÉNAGEMENT
Hôtel de ville
655, rue Main
Moncton, NB
Canada E1C 1E8

PUBLIC NOTICE

June 14, 2023

RE: Conditional Use and Variance Application submitted by Maulen Kalau on behalf of Brillante Investments Ltd., 111 Joyce Avenue, Moncton NB (PID 70525951), File Numbers: 23MC-44847 & 23 MV-44962

Dear Landowner,

The City of Moncton received a Conditional Use and Variance Application to construct a five-storey apartment building at 111 Joyce Avenue. The apartment building will consist of 59-units.

The subject property is currently zoned R3 (Multiple Unit Dwelling). To facilitate the project as proposed, there are two applications required:

1. **Conditional Use Application**
 - a. To permit a multiple-unit dwelling in the R3 (Multiple Unit Dwelling) zone.
2. **Variance Application**
 - a. To reduce the number of surface parking spaces from 74 spaces to 68 spaces; and
 - b. To increase the area of the lot devoted to parking spaces and parking aisles from 35% to 37.15%.

As a property owner within 60 meters of the above noted application, this notice was sent to you to seek any comments you would like to offer.

The Planning Advisory Committee will consider the above-noted request at its next monthly meeting on **Wednesday, June 28, 2023** at 5:30 p.m. The meeting will be held in Council Chambers, Moncton City Hall, 655 Main Street, Moncton.

You may make your comments known to the Committee by sending them in writing to me or by attending the meeting in-person to make representation on the matter. All written comments must be signed or display the author's name, civic address and phone number. Once received, they are considered public documents and may be posted on our website as part of Staff's Report. Written comments may be read at the meeting upon request.

The materials submitted with the application can be viewed during our regular office hours, Monday through Friday, 8:30 a.m. to 4:30 p.m. or on our website at:

<https://www.moncton.ca/lets-do-business-zoning-planning-urban-planning/planning-advisory-committee>

Should you have any questions, do not hesitate to contact Dylan Geldart, Urban Planner with the City of Moncton, at 506-859-2667 or email Dylan.geldart@moncton.ca

AVIS PUBLIC

Le 14 juin 2023

Objet : Demandes d'usage conditionnel et de dérogation déposées par Maulen Kalau au nom de Brillante Investments Ltd., 111, avenue Joyce, Moncton (Nouveau-Brunswick) [NID 70525951], Dossiers 23MC-44847 et 23 MV-44962

Cher propriétaire foncier,

Une demande d'usage conditionnel et une demande de dérogation ont été déposées auprès de la Ville de Moncton pour construire un immeuble de 5 étages et de 59 appartements au 111, avenue Joyce.

À l'heure actuelle, la propriété en question se trouve dans la zone R3 (Zone d'habitations multifamiliales). Pour permettre de réaliser le projet proposé, il faut déposer les deux demandes suivantes :

1. Demande d'usage conditionnel

- a) Permettre la construction d'une habitation multifamiliale dans la zone R3 (Zone d'habitations multifamiliales).

2. Demande de dérogation

- a) Réduire le nombre de places de stationnement de surface de 74 à 68 places.
- b) Accroître la superficie de la partie du terrain consacrée aux places et aux allées de stationnement de 35 % à 37,15 %.

Cet avis vous est adressé en votre qualité de propriétaire d'un bien-fonds situé dans un rayon de 60 mètres du lieu de la demande susmentionnée, pour vous inviter à formuler les commentaires souhaités.

Le Comité consultatif d'urbanisme se penchera sur cette demande pendant sa prochaine réunion mensuelle, le **mercredi 28 juin 2023** à 17 h 30. Cette réunion se tiendra à l'hôtel de ville de Moncton, au 655, rue Main.

Pour présenter vos commentaires au Comité, vous pouvez me les faire parvenir par écrit ou participer à la réunion en personne pour commenter le dossier. Tous les commentaires déposés par écrit doivent être signés par l'auteur ou porter son nom, son adresse municipale et son numéro de téléphone. Les commentaires déposés seront considérés comme des documents publics et pourront être publiés sur notre site Web dans le Rapport du personnel de la Ville. Nous pourrions faire la lecture des commentaires déposés par écrit pendant la réunion sur demande.

Les documents déposés avec la demande peuvent être consultés pendant nos heures normales d'ouverture, du lundi au vendredi, de 8 h 30 à 16 h 30 sur notre site Web, à l'adresse suivante :

<https://www.moncton.ca/lets-do-business-zoning-planning-urban-planning/planning-advisory-committee>

Si vous avez des questions, n'hésitez pas à communiquer avec Dylan Geldart, urbaniste de la Ville de Moncton, par téléphone au 506-859-2667 ou par courriel à l'adresse Dylan.geldart@moncton.ca.

**111 Joyce Avenue
(PID 70525951)**

**Conditional Use and Variance
Application**

**111 avenue Joyce
(NID 70525951)**

**Demande d'usage conditionnel
et de dérogation**

Item 4(b) – File 23MC-44847 & 23MV-44962

Point 4(b) – Dossier 23MC-44847 & 23MV-44962



Application

The application is to construct a five-storey apartment building at 111 Joyce Avenue. The apartment building will consist of 59-units.

The subject property is zoned R3 (Multiple Unit Dwelling). Two applications are required

1. Conditional Use Application

- a) To permit a multiple unit dwelling in the R3 (Multiple Unit Dwelling) zone.

2. Variance Application

- a) To reduce the number of surface parking spaces from 74 spaces to 68 spaces; and
- b) To increase the area of the lot devoted to parking spaces and parking aisles from 35% to 37.15%.

APPLICANT: Maulen Kalau on behalf of Brillante Investments Ltd.

Demande

La demande vise à construire un immeuble de 5 étages et de 59 appartements au 111, avenue Joyce.

À l'heure actuelle, la propriété en question se trouve dans la zone R3 (Zone d'habitations multifamiliales). Pour permettre de réaliser le projet proposé, il faut déposer les deux demandes suivantes :

1. Demande d'usage conditionnel

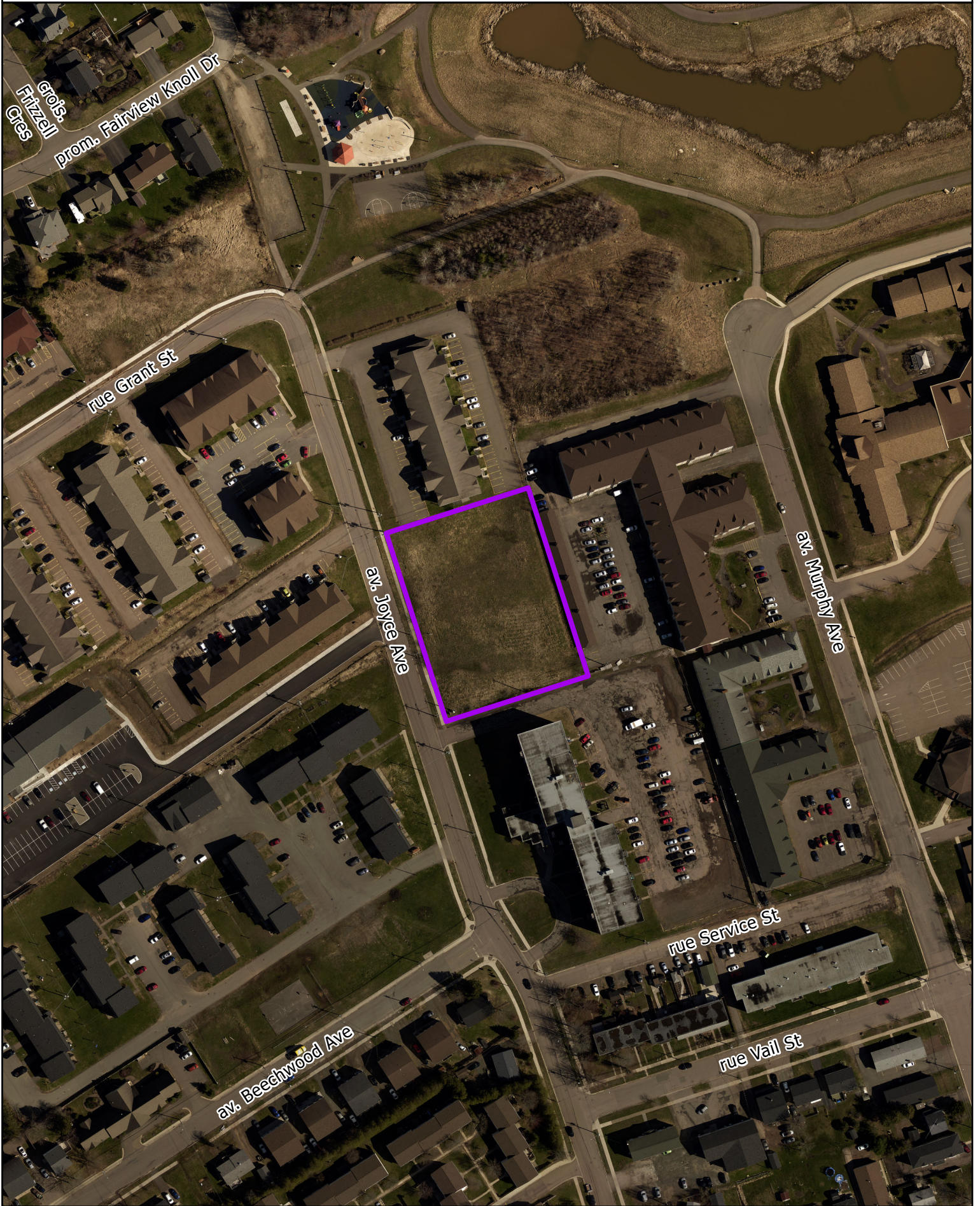
- a) Pour autoriser la construction d'une habitation multifamiliale dans la zone R3 (Zone d'habitations multifamiliales).

2. Demande de dérogation

- a) Réduire le nombre de places de stationnement de surface de 74 à 68 places.
- b) Accroître la superficie de la partie du terrain consacrée aux places et aux allées de stationnement de 35 % à 37,15 %.

DEMANDEUR : Maulen Kalau au nom de Brillante Investments Ltd.

Conditional Use and Variance / Usage Conditionnel et Dérogation 111 av. Joyce Ave



LEGEND / LÉGENDE

 PID / NID 70525951



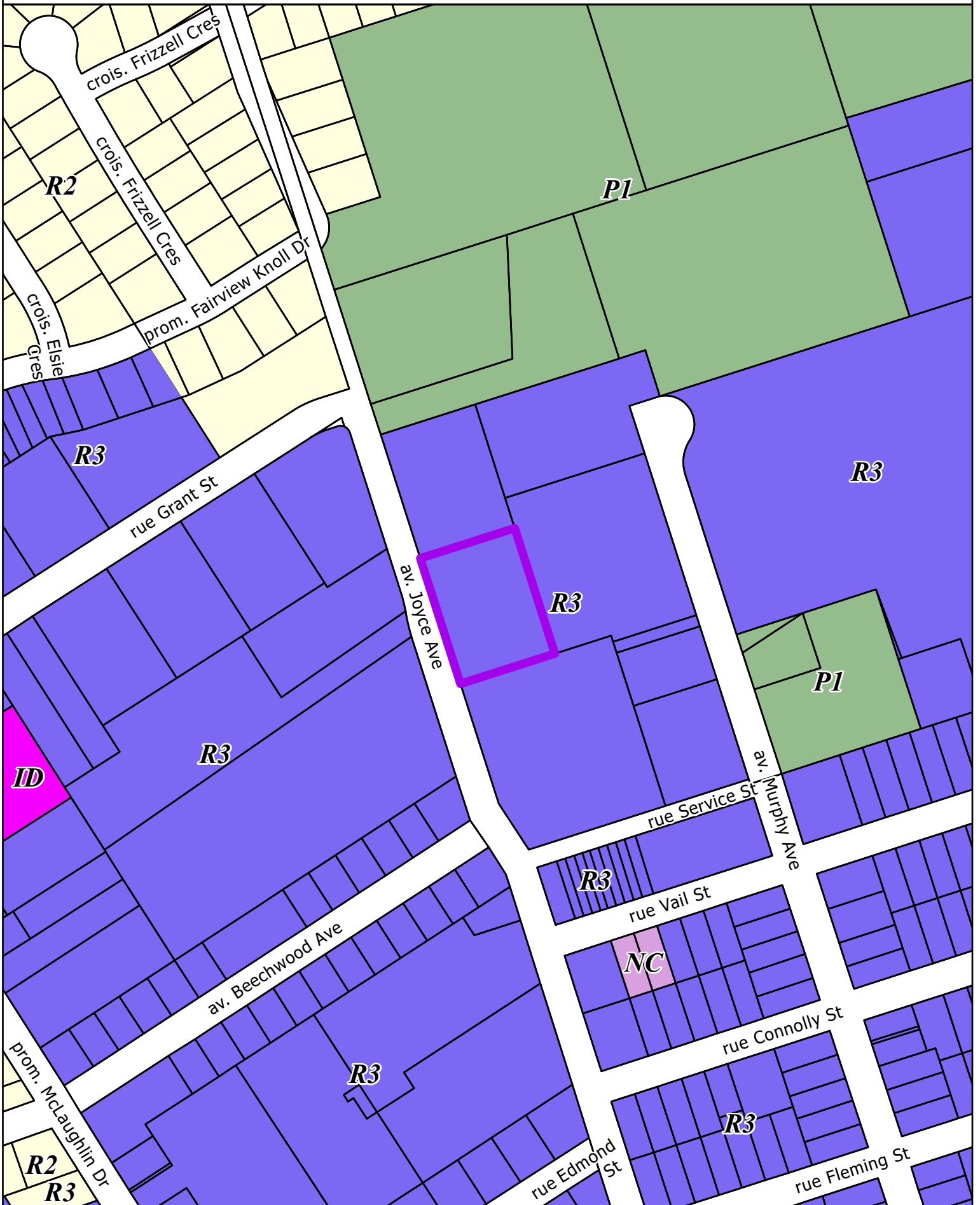
0 25 50 100

metres / mètres








1: 2,000

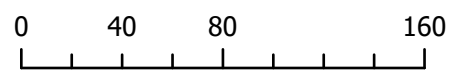
Conditional Use and Variance / Usage Conditionnel et Dérogation

111 av. Joyce Ave



LEGEND / LÉGENDE

- | | |
|---|--|
|  PID / NID 70525951 |  NEIGHBOURHOOD CONVENIENCE ZONE
ZONE DE DÉPANNEURS DE QUARTIER |
| ZONING / ZONAGE |  COMMUNITY USE ZONE
ZONE D'USAGES COMMUNAUTAIRES |
|  R2
TWO UNIT DWELLING ZONE
ZONE D'HABITATIONS BIFAMILIALES |  P-1
COMMUNITY USE ZONE
ZONE D'USAGES COMMUNAUTAIRES |
|  R3
MULTIPLE UNIT DWELLING ZONE
ZONE D'HABITATIONS MULTIFAMILIALES |  ID
INTERGRATED DEVELOPMENT ZONE
ZONE D'AMÉNAGEMENT INTÉGRÉ |



metres / mètres

1: 3,000

SITE PLAN LEGEND:

- ASPHALT PAVING
- CONCRETE WALKWAY
- GRASS
- PAINTED LINES
- TREE
- SHRUBS

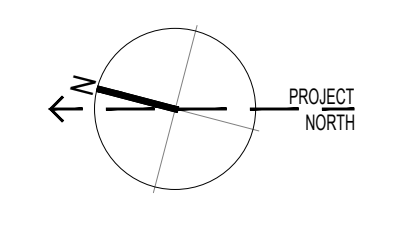
LOT COVERAGE:
 LOT AREA = 54,700 SF (5061 SM)
 MAXIMUM = 50%
 PROPOSED BUILDINGS = 23.4%
 (12,820 SF / 1191 SM)

LAND DEVOTED TO PARKING SPACES:
 MAXIMUM = 35%
 PROPOSED = 37.3%
 PARKING AREA = 20,409 SF (1896 SM)

LANDSCAPING INSIDE PARKING AREA:
 REQUIRED MIN 5%
 PROVIDED: 5.2% (1060 SF) (98 SM)

PARKING SPACES:
 REQUIRED = 59 x 1.25 = 74
 PROPOSED: 66
 63 STANDARD
 3 BARRIER-FREE

PARKING RATIO:
 66/59 = 1.11



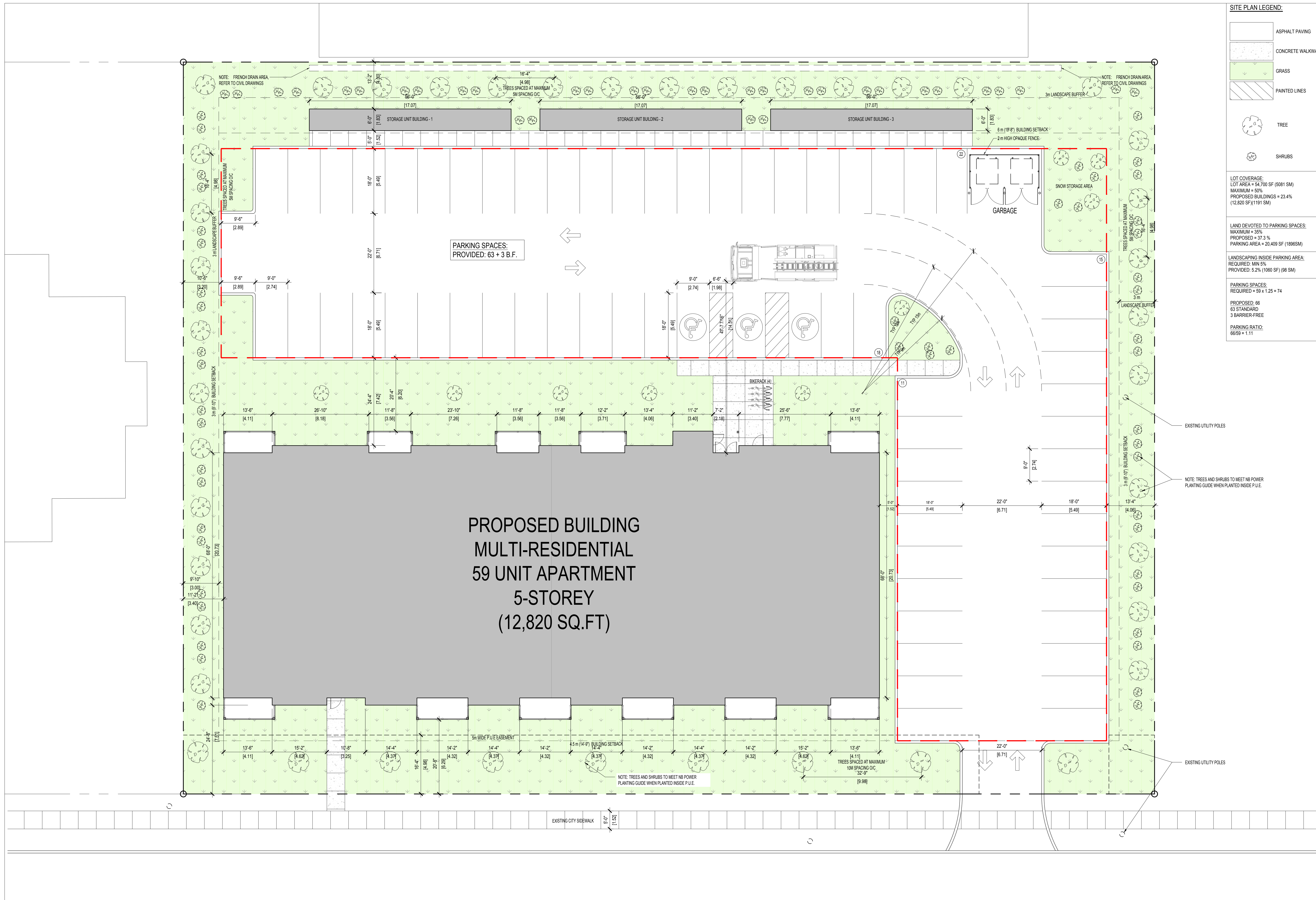
JOYCE AVE APARTMENTS
 111 JOYCE AVE, MONCTON, NB

REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

SITE PLAN

A1.0

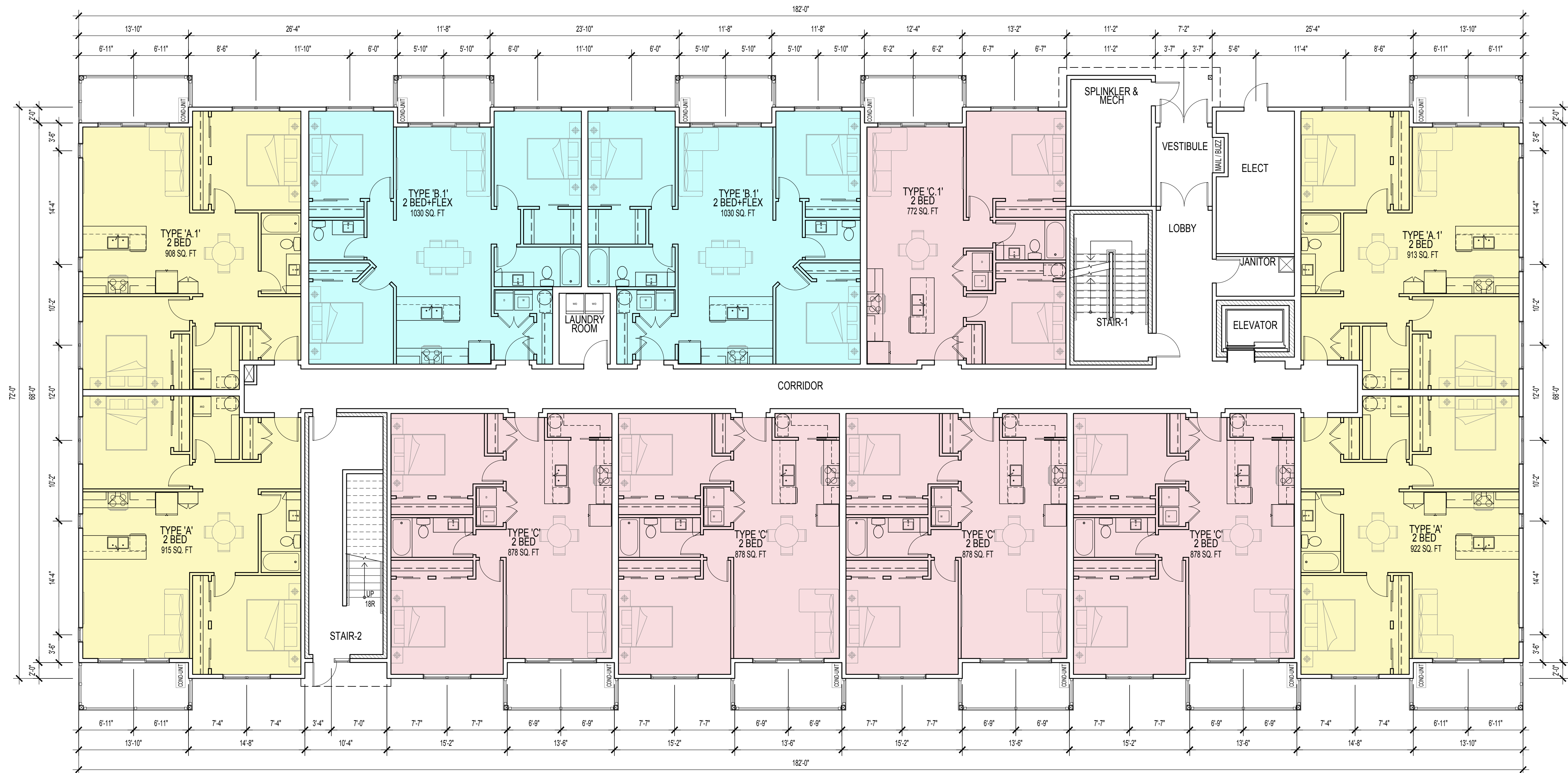
PROJECT #	KUB-2237
DATE	2023.06.05
DRAWN BY	N.MALHOTRA



JOYCE AVENUE

FLOOR PLAN LEGEND:

- PARTITION
- RATED PARTITION
- NON-RATED SEPARATION
- INTERIOR WALL LOAD-BEARING
- BEAM
- COLUMN/LOAD-BEARING
- DOOR
- WINDOW
- WINDOW TAG
- SECTION REFERENCE
- REFER TO NOTES
- PARTITION TYPE AUTO-OPENER
- CARD READER



1 MAIN FLOOR PLAN

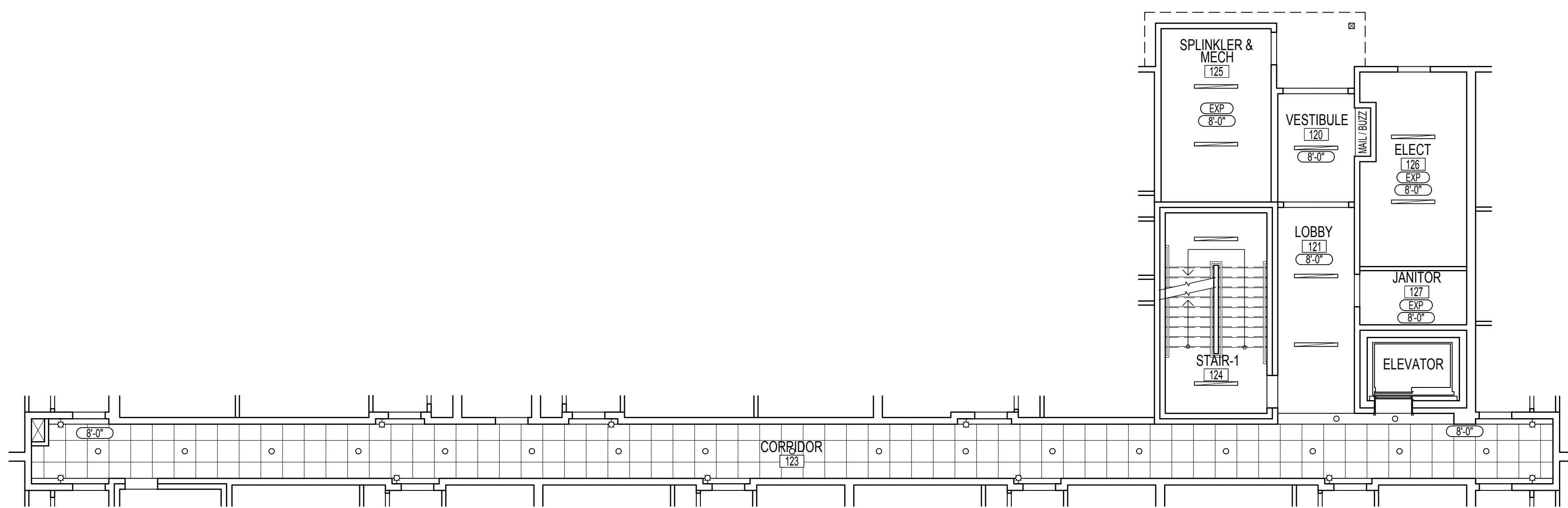
SCALE: 1/8"=1'-0"

REFLECTED CEILING PLAN LEGEND:

- POTLIGHT
- ◇ FLUSH/SEM-FLUSH FIXTURE
- ⊠ WALL SCONCE
- ⊕ PENDANT FIXTURE
- ▬ LINEAR
- ⊗ CEILING HEIGHT
- ▨ SUSPENDED ACOUSTIC TILE SYSTEM
- GYPSUM BOARD
- ▧ RETURN / EXHAUST GRILL
- ▭ DIFFUSER

NOTES:

1. ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO HAVE FIRE STOP.
2. NO DIMENSIONS = COVER IN ROOMSPACE OR DOMINANT ELEMENT.
3. WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.



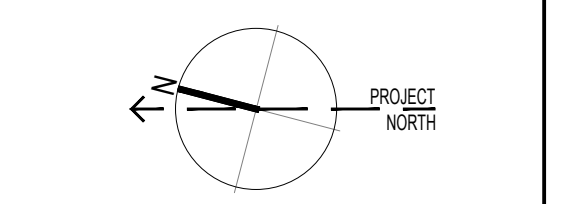
2 MAIN FLOOR - REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"



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JOYCE AVE APARTMENTS
 111 JOYCE AVE, MONCTON, NB

REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

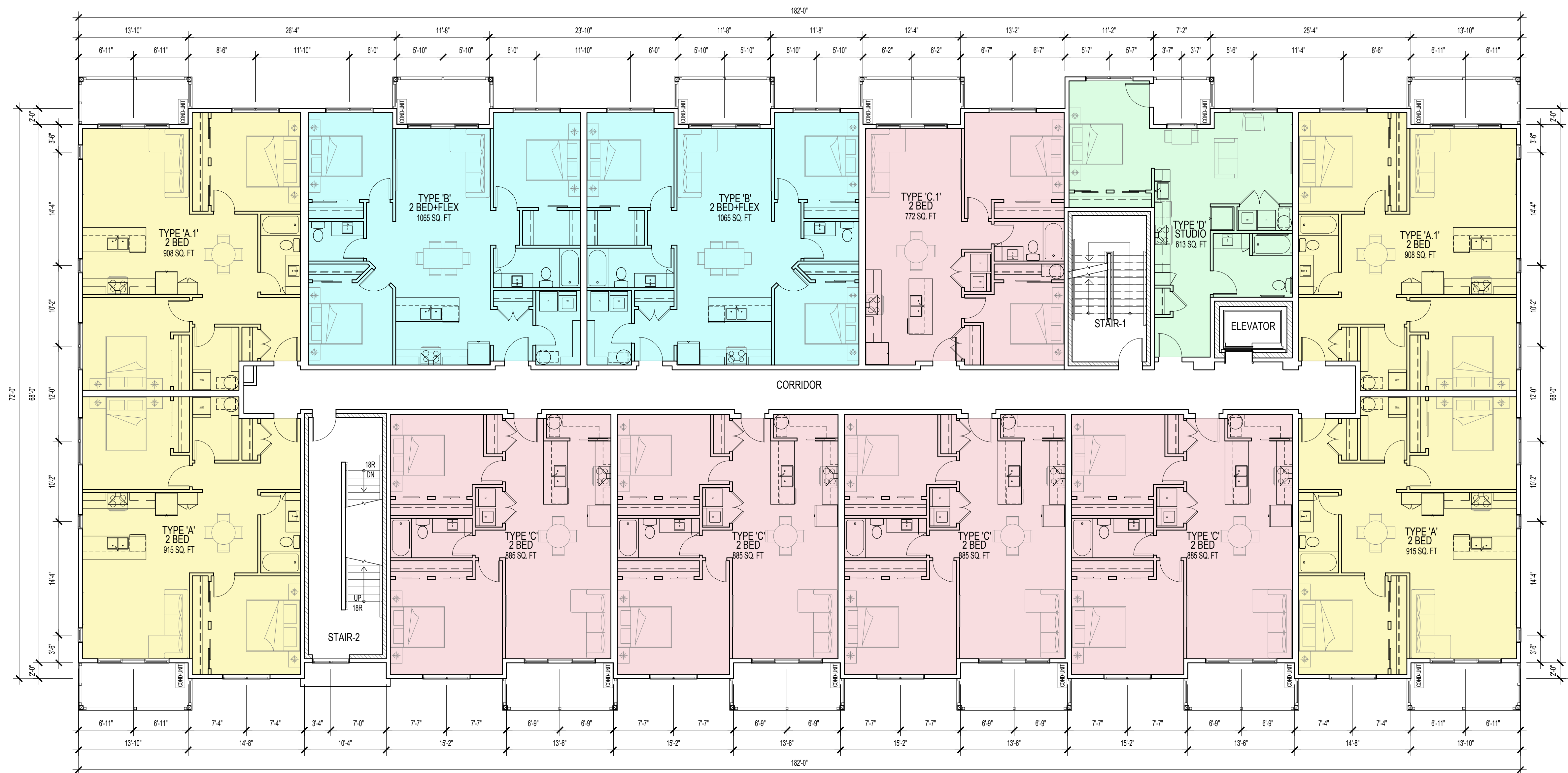
MAIN FLOOR PLAN & REFLECTED CEILING PLAN

A1.1

PROJECT # KUB-2237
 DATE 2023.06.05
 DRAWN BY N.MALHOTRA

FLOOR PLAN LEGEND:

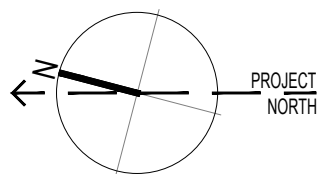
	PARTITION		DOOR
	RATED PARTITION		DOOR NUMBER
	NON-RATED SEPARATION		WINDOW
	INTERIOR WALL LOAD-BEARING		SECTION
	BEAM		REFER TO NOTES
	COLUMN LOAD-BEARING		
	PARTITION TYPE		
	AUTO-OPENER		
	CARD READER		



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JOYCE AVE APARTMENTS
 111 JOYCE AVE, MONCTON, NB

1 SECOND FLOOR PLAN

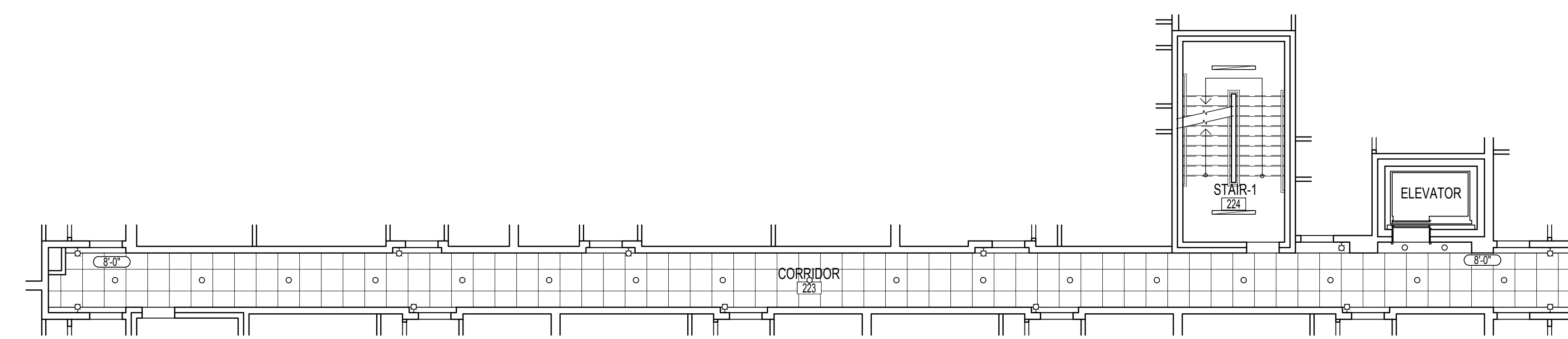
SCALE: 1/8"=1'-0"

REFLECTED CEILING PLAN LEGEND:

	POTLIGHT
	FLUSH/BSDM FLUSH FIXTURE
	WALL SCONCE
	PENDANT FIXTURE
	LINEAR
	CEILING HEIGHT
	SUSPENDED ACOUSTIC TILE SYSTEM
	GYPSUM BOARD
	RETURN / EXHAUST GRILL
	DIFFUSER

NOTES:

- ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO HAVE FIRE STOP.
- NO DIMENSIONS = COVER IN ROOMSPACE OR DOMINANT ELEMENT.
- WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.



2 SECOND FLOOR - REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

REVISIONS

DESCRIPTION	DATE	#
PRELIMINARY		

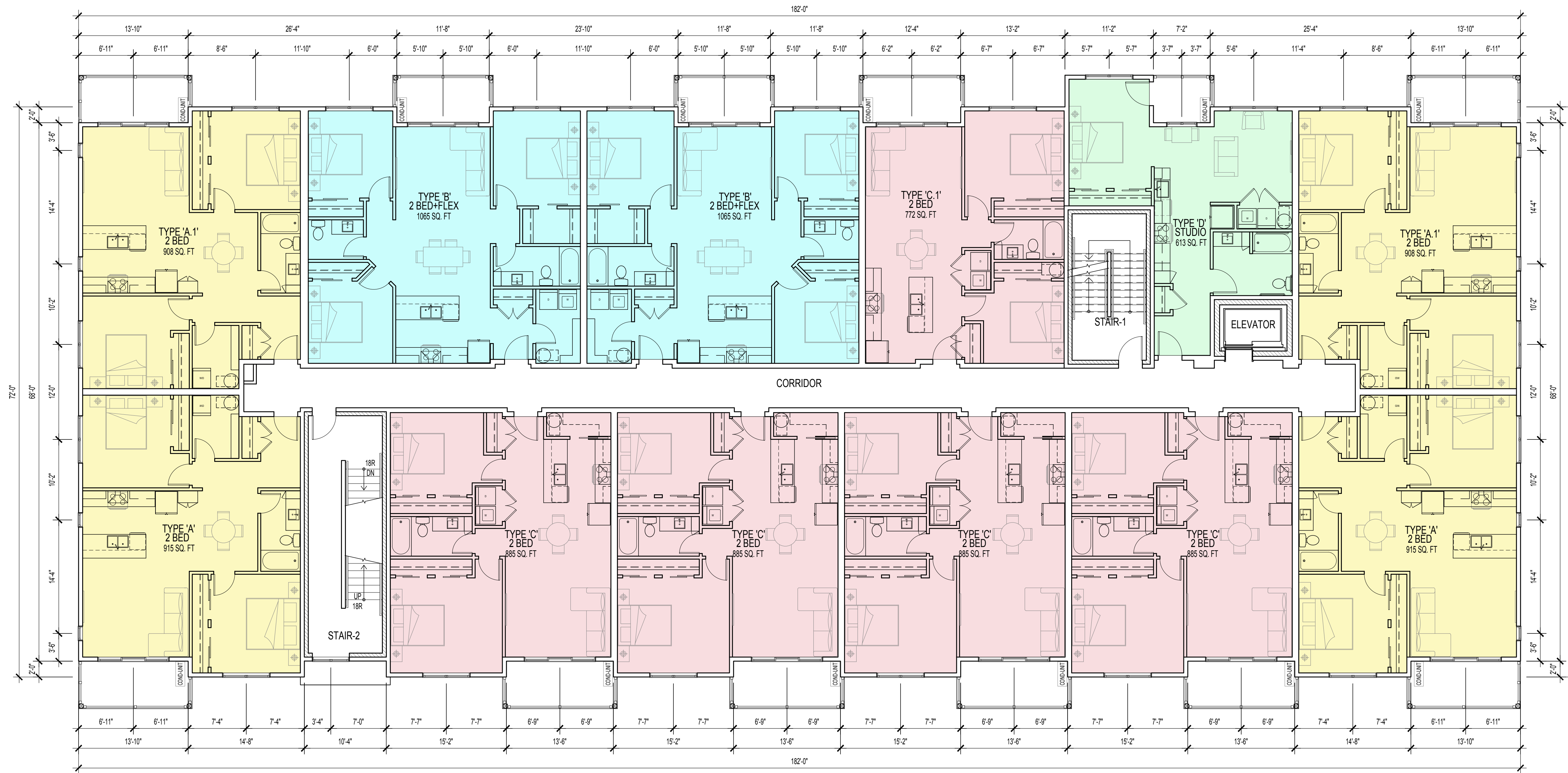
SECOND FLOOR PLAN & REFLECTED CEILING PLAN

A1.2

PROJECT #	KUB-2237
DATE	2023.06.05
DRAWN BY	N.MALITHA

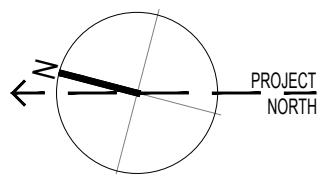
FLOOR PLAN LEGEND:

	DOOR
	DOOR NUMBER
	WINDOW
	WINDOW TAG
	SECTION REFERENCE
	REFER TO NOTES



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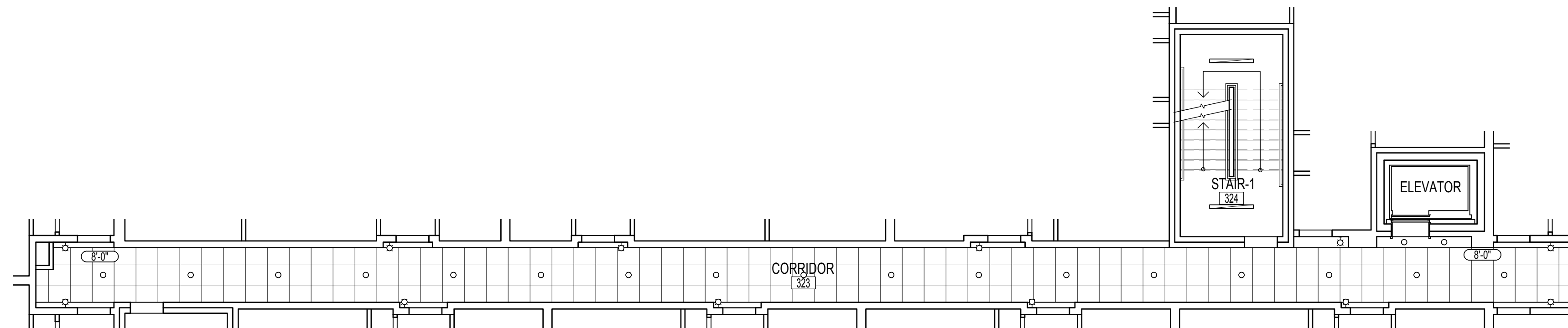
1 THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"

REFLECTED CEILING PLAN LEGEND:

	POTLIGHT
	FLUSH/BSDBM FLUSH FIXTURE
	WALL SCONCE
	PENDANT FIXTURE
	LINEAR
	CEILING HEIGHT
	SUSPENDED ACOUSTIC TILE SYSTEM
	GYPSUM BOARD
	RETURN / EXHAUST GRILL
	DIFFUSER

- NOTES:**
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO HAVE FIRE STOP.
 - NO DIMENSIONS = COVER IN ROOMSPACE OR DOMINANT ELEMENT.
 - WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.



2 THIRD FLOOR - REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

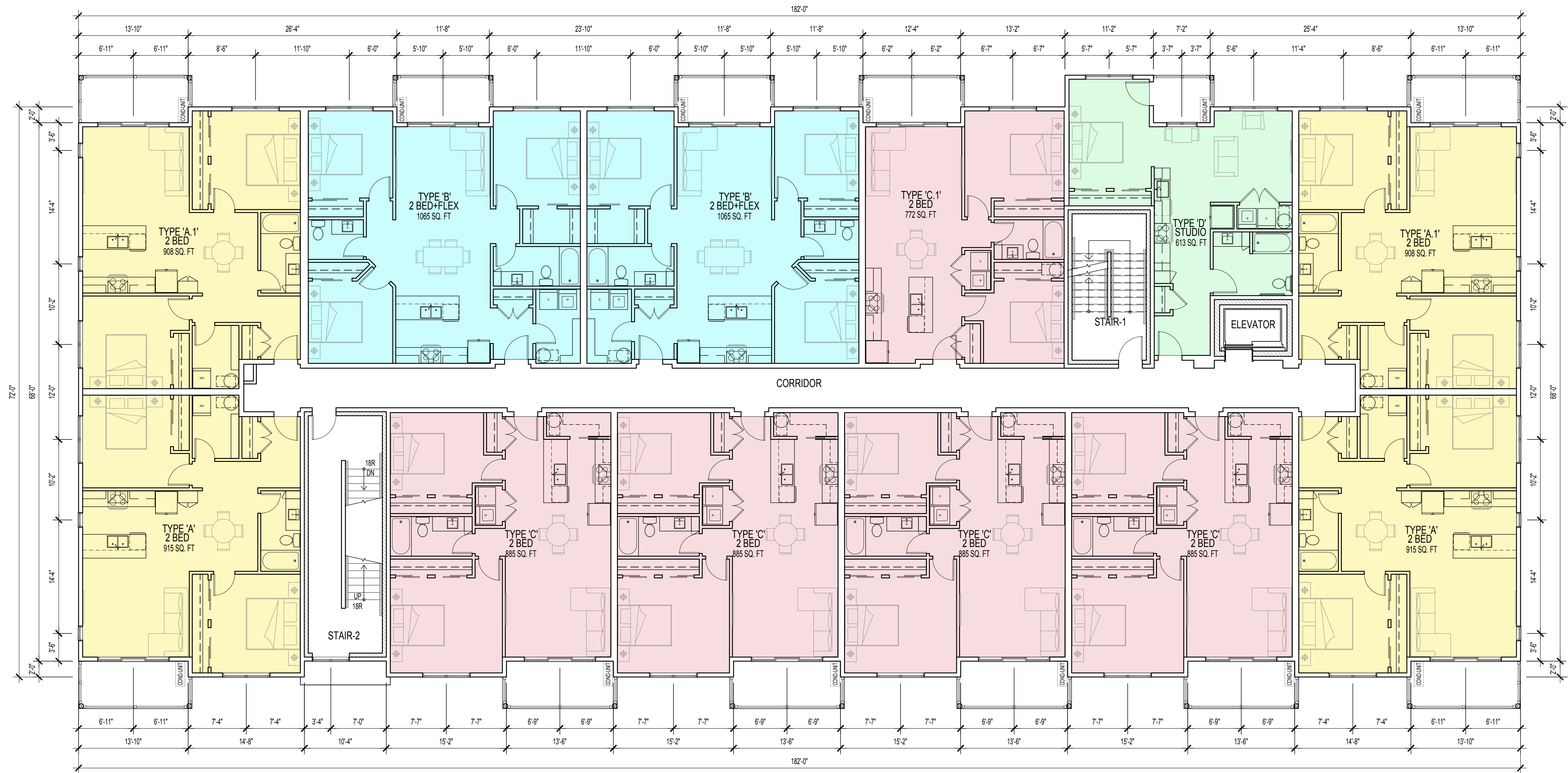
THIRD FLOOR PLAN & REFLECTED CEILING PLAN

A1.3

PROJECT #	KUB-2237
DATE	2023.06.05
DRAWN BY	N.MALITHA

FLOOR PLAN LEGEND:

	DOOR
	DOOR NUMBER
	WINDOW
	WINDOW TAG
	SECTION REFERENCE
	REFER TO NOTES



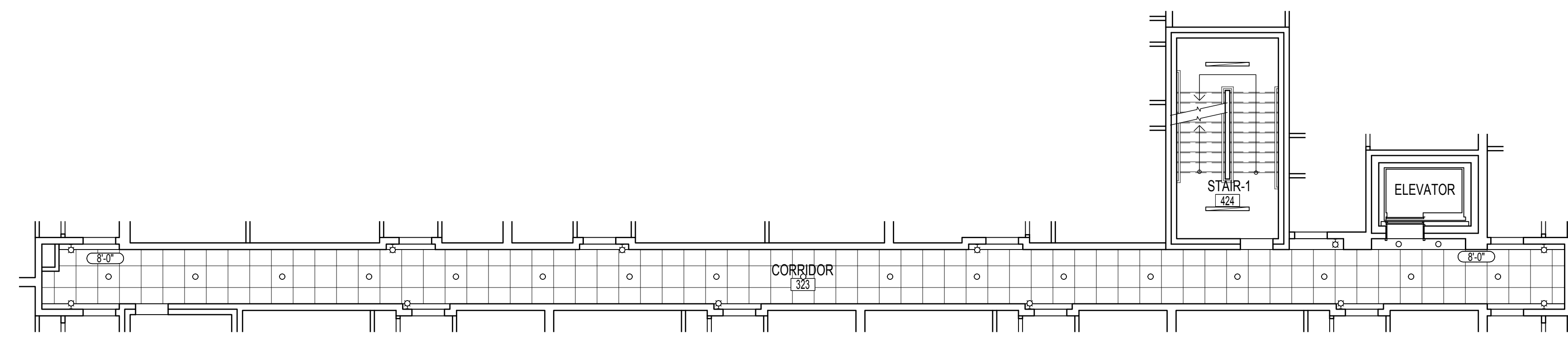
1 FOURTH FLOOR PLAN

SCALE: 1/8"=1'-0"

REFLECTED CEILING PLAN LEGEND:

	POTLIGHT
	FLUSHMOUNT FLUSH FIXTURE
	WALL SCONCE
	PENDANT FIXTURE
	LINEAR
	CEILING HEIGHT
	SUSPENDED ACOUSTIC TILE SYSTEM
	GYPSUM BOARD
	RETURN / EXHAUST GRILL
	DIFFUSER

- NOTES:**
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO HAVE FIRE STOP.
 - NO DIMENSIONS = COVER IN ROOMSPACE OR DOMINANT ELEMENT.
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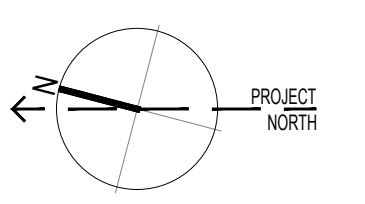
2 FOURTH FLOOR - REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"



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 111 JOYCE AVE, MONCTON, NB

REVISIONS	DATE	#
DESCRIPTION		
PRELIMINARY		

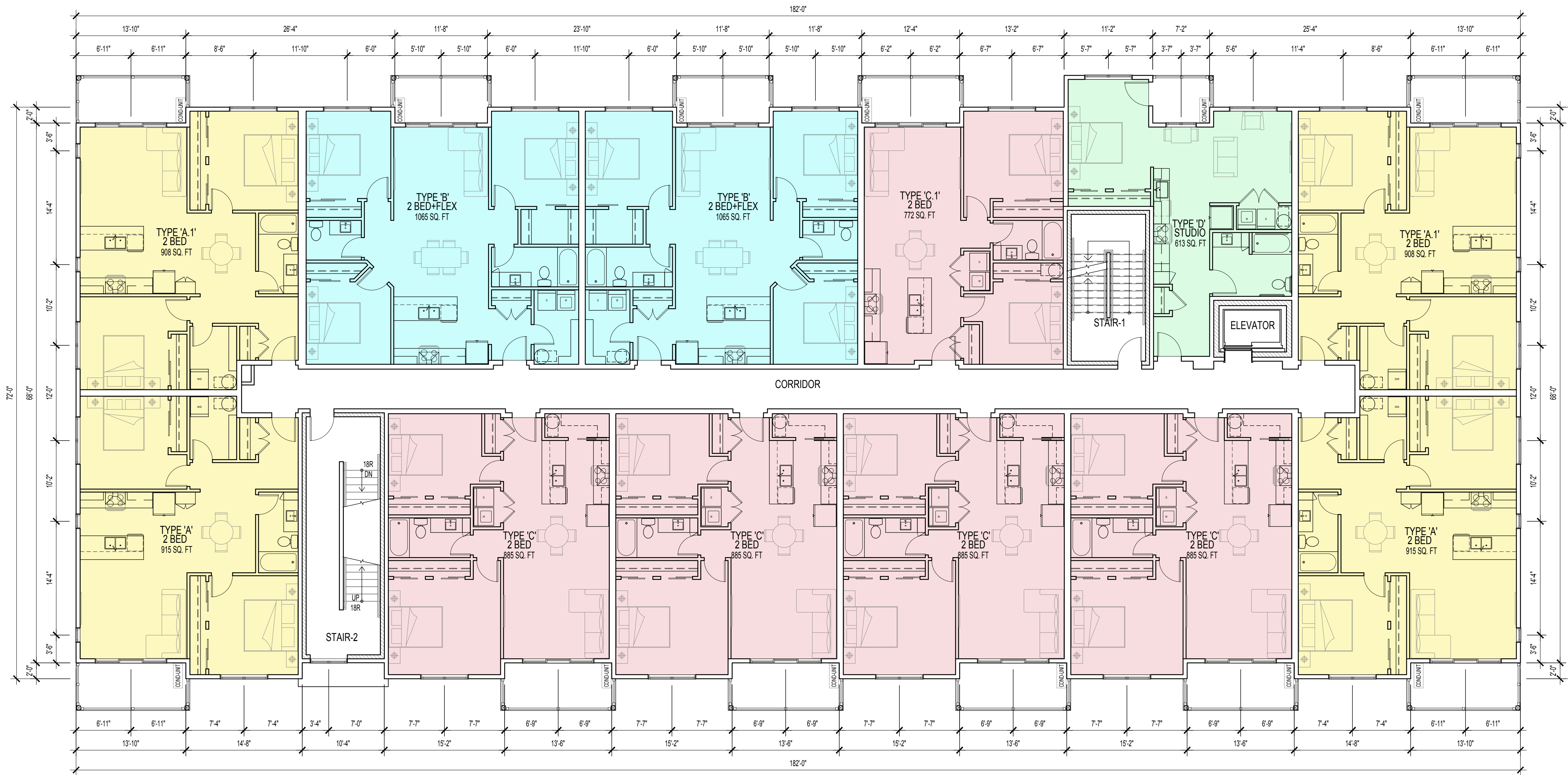
FOURTH FLOOR PLAN & REFLECTED CEILING PLAN

A1.4

PROJECT # KUB-2237
 DATE 2023.06.05
 DRAWN BY N.MALHOTRA

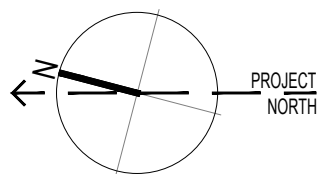
FLOOR PLAN LEGEND:

- PARTITION
- RATED PARTITION
- NON-RATED SEPARATION
- INTERIOR WALL LOAD-BEARING
- BEAM
- COLUMN/LOAD-BEARING
- PARTITION TYPE
- AUTO-OPENER
- CARD READER
- DOOR
- WINDOW
- WINDOW TAG
- SECTION REFERENCE
- REFER TO NOTES



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JOYCE AVE APARTMENTS
 111 JOYCE AVE, MONCTON, NB

1 FIFTH FLOOR PLAN

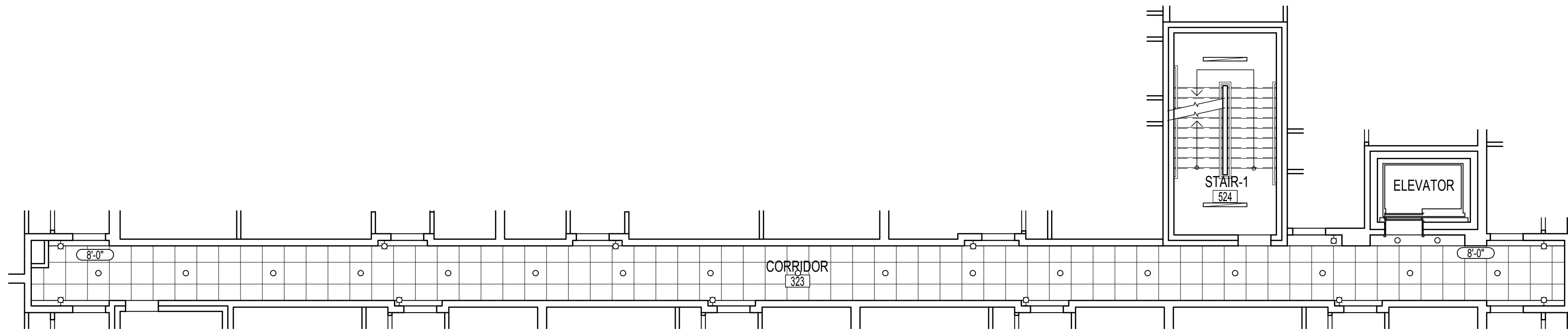
SCALE: 1/8"=1'-0"

REFLECTED CEILING PLAN LEGEND:

- POTLIGHT
- ◇ FLUSH/SEM-FLUSH FIXTURE
- ⊥ WALL SCONCE
- ⊕ PENDANT FIXTURE
- ▭ LINEAR
- ⊗ CEILING HEIGHT
- ▨ SUSPENDED ACOUSTIC TILE SYSTEM
- GYPSUM BOARD
- ▧ RETURN / EXHAUST GRILL
- ▭ DIFFUSER

NOTES:

- ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO HAVE FIRE STOP.
- NO DIMENSIONS = COVER IN ROOMSPACE OR DOMINANT ELEMENT.
- WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.



2 FIFTH FLOOR - REFLECTED CEILING PLAN

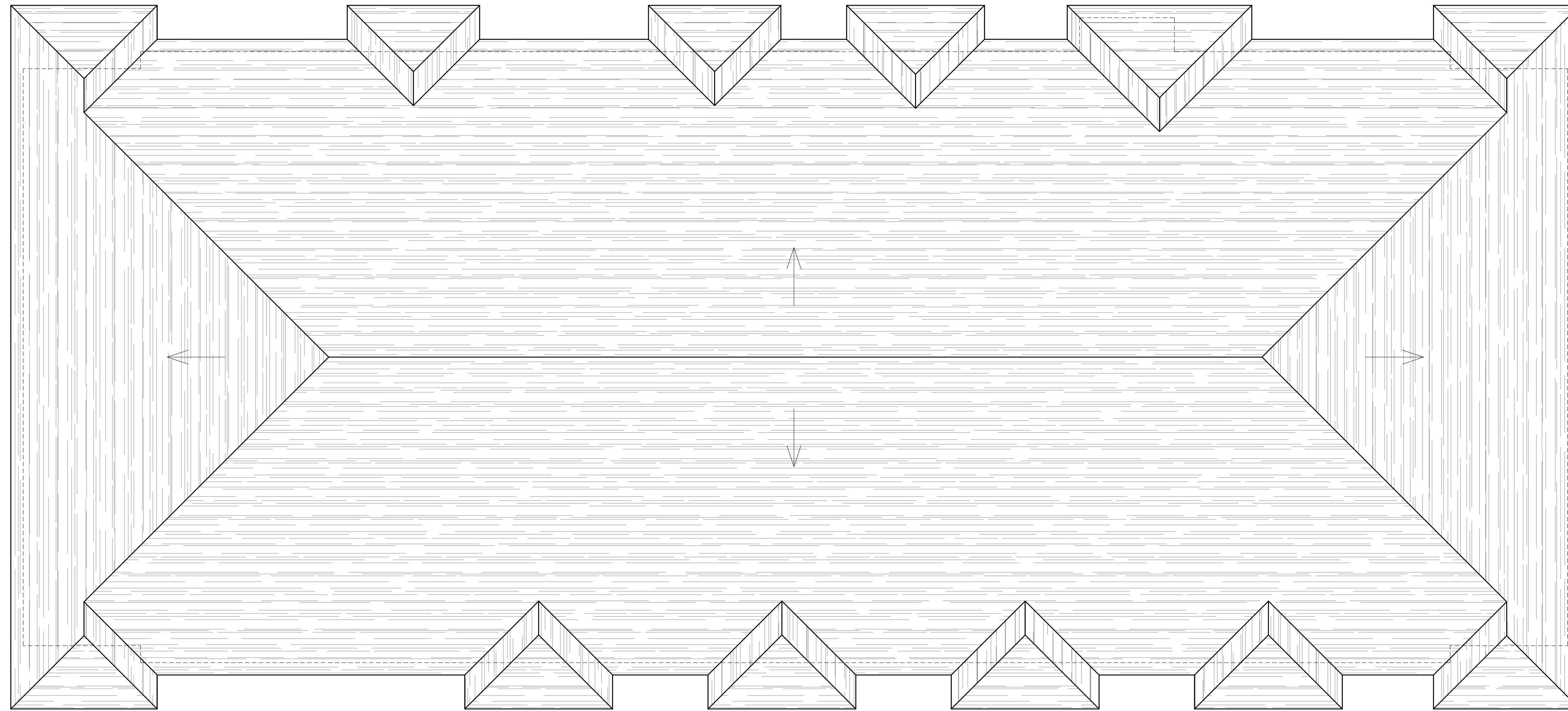
SCALE: 1/8"=1'-0"

REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

FIFTH FLOOR PLAN & REFLECTED CEILING PLAN

A1.5

PROJECT # KUB-2237
 DATE 2023.06.05
 DRAWN BY N.MALITHA



1 ROOF PLAN

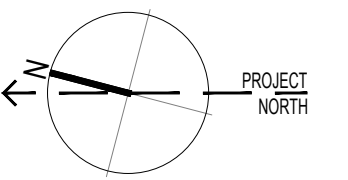
SCALE: 1/8"=1'-0"



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JOYCE AVE APARTMENTS
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REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

ROOF PLAN

A1.6

PROJECT # KUB-2237
 DATE 2023.06.05
 DRAWN BY N.MALHOTRA

- ELEVATIONS LEGEND:**
- ASPHALT SHINGLES
 - CLASS 1 (FINE CORNER LATH BRICK)
HORIZONTAL COLOR 1 & 2
JOINTS AND MORTAR COLOR
 - CLASS 2 (MASONRY)
COLOR 1
JOINTS AND MORTAR COLOR
 - CLASS 3 (FINE BRICK)
HORIZONTAL COLOR 1 & 2
 - CLASS 4 (MIX BRICK)
VERTICAL COLOR 1
 - CLASS 5 (MIX BRICK BOARD AND BATTEN)
VERTICAL COLOR 1 & 2
 - POST/SLAT
 - WALL MOUNTED LAMINATE
 - WALL MOUNTED LAMINATE
- TO BE USED ON FIRST FLOOR ONLY (FRONT FACADE)
PROJECT NO. 2023-06-11 (18/06)
PROJECT NO. 2023-06-11 (18/06)



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1 WEST ELEVATION - JOYCE AVENUE

SCALE: 1/8"=1'-0"



2 EAST ELEVATION - PARKING SIDE

SCALE: 1/8"=1'-0"

JOYCE AVE APARTMENTS
111 JOYCE AVE, MONCTON, NB

REVISIONS	DESCRIPTION	DATE	#
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ELEVATIONS

A2.1

PROJECT # KUB-2237
DATE 2023.06.05
DRAWN BY N.MALITHA



SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"

- ELEVATIONS LEGEND:**
- ASPHALT SHINGLES
 - CLASS 1 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 2 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 3 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 2
 - CLASS 4 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 5 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 6 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 7 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 8 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 9 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 10 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 11 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 12 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 13 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 14 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 15 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 16 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 17 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 18 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 19 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 20 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 21 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 22 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 23 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 24 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 25 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 26 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 27 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 28 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 29 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 30 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 31 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 32 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 33 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 34 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 35 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 36 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 37 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 38 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 39 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 40 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 41 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 42 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 43 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 44 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 45 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 46 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 47 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 48 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 49 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 50 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 51 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 52 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 53 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 54 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 55 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 56 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 57 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 58 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 59 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 60 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 61 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 62 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 63 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 64 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 65 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 66 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 67 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 68 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 69 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 70 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 71 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 72 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 73 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 74 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 75 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 76 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 77 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 78 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 79 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 80 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 81 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 82 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 83 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 84 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 85 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 86 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 87 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 88 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 89 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 90 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 91 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 92 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 93 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 94 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 95 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 96 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 97 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 98 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2
 - CLASS 99 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1
 - CLASS 100 FIBRE CEMENT LAP SIDING
HORIZONTAL COLOR 1 & 2



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REVISIONS	DESCRIPTION	DATE	#
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ELEVATIONS

A2.2

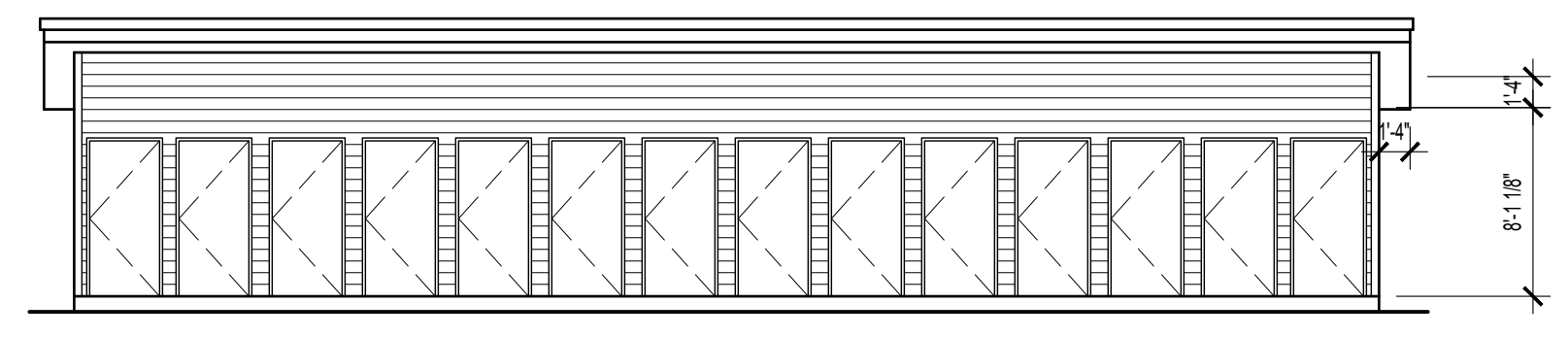
PROJECT # KUB-2237
DATE 2023.06.05
DRAWN BY N.MALITHA

1 SOUTH ELEVATION

2 NORTH ELEVATION

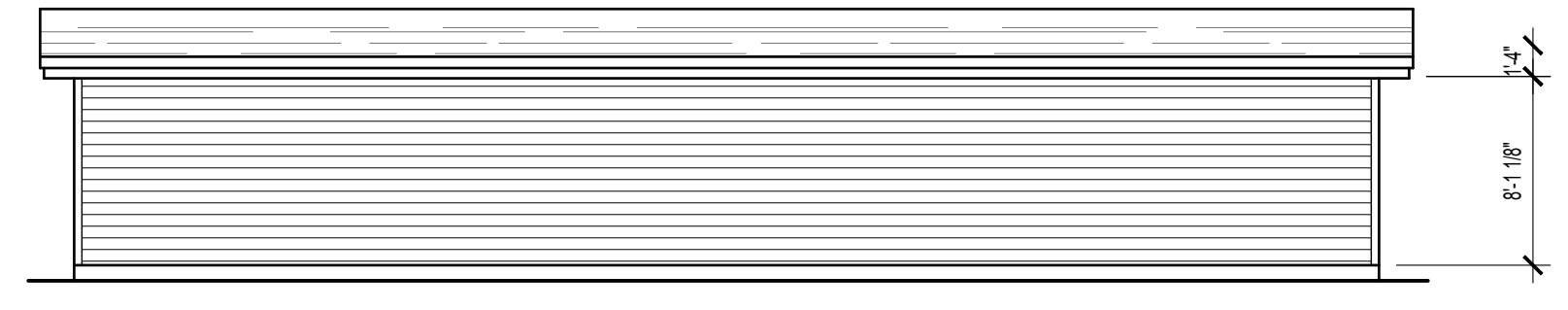
3 STORAGE UNIT - FRONT ELEVATION

SCALE: 1/8"=1'-0"



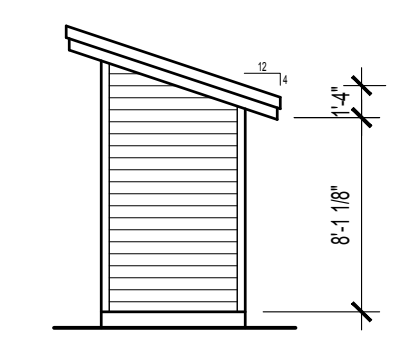
4 STORAGE UNIT - BACK ELEVATION

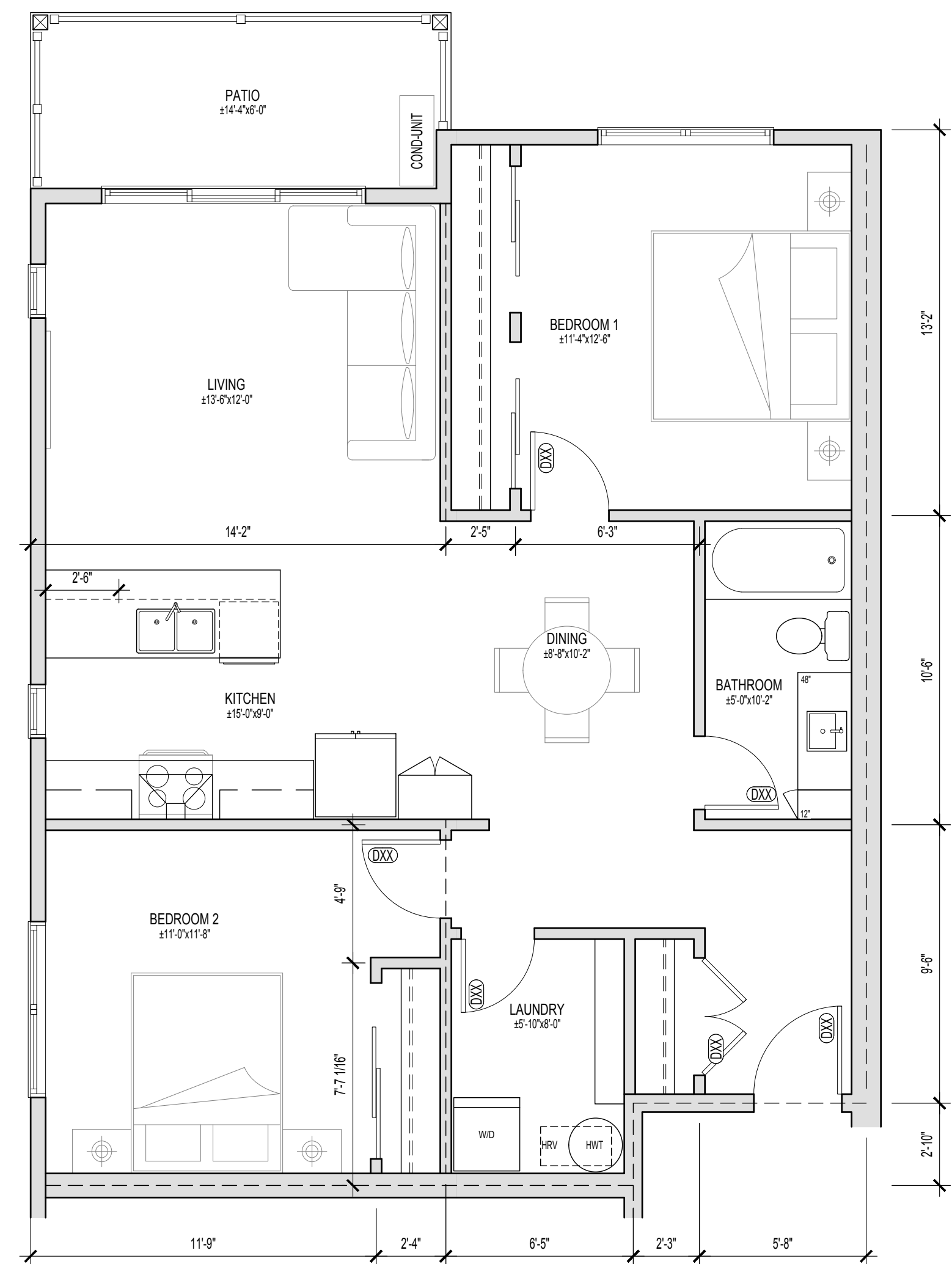
SCALE: 1/8"=1'-0"



5 STORAGE UNIT - SIDE ELEVATION

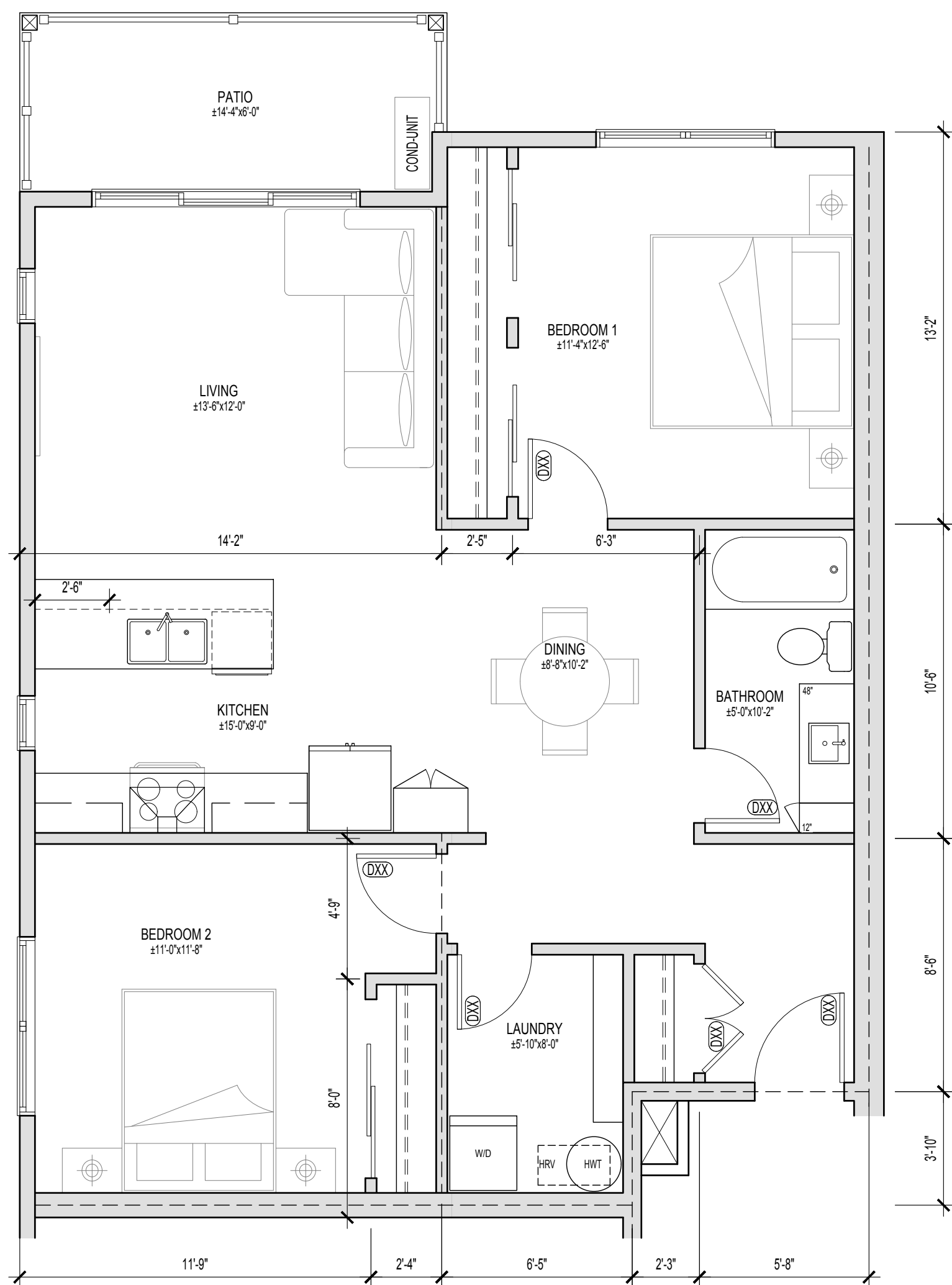
SCALE: 1/8"=1'-0"





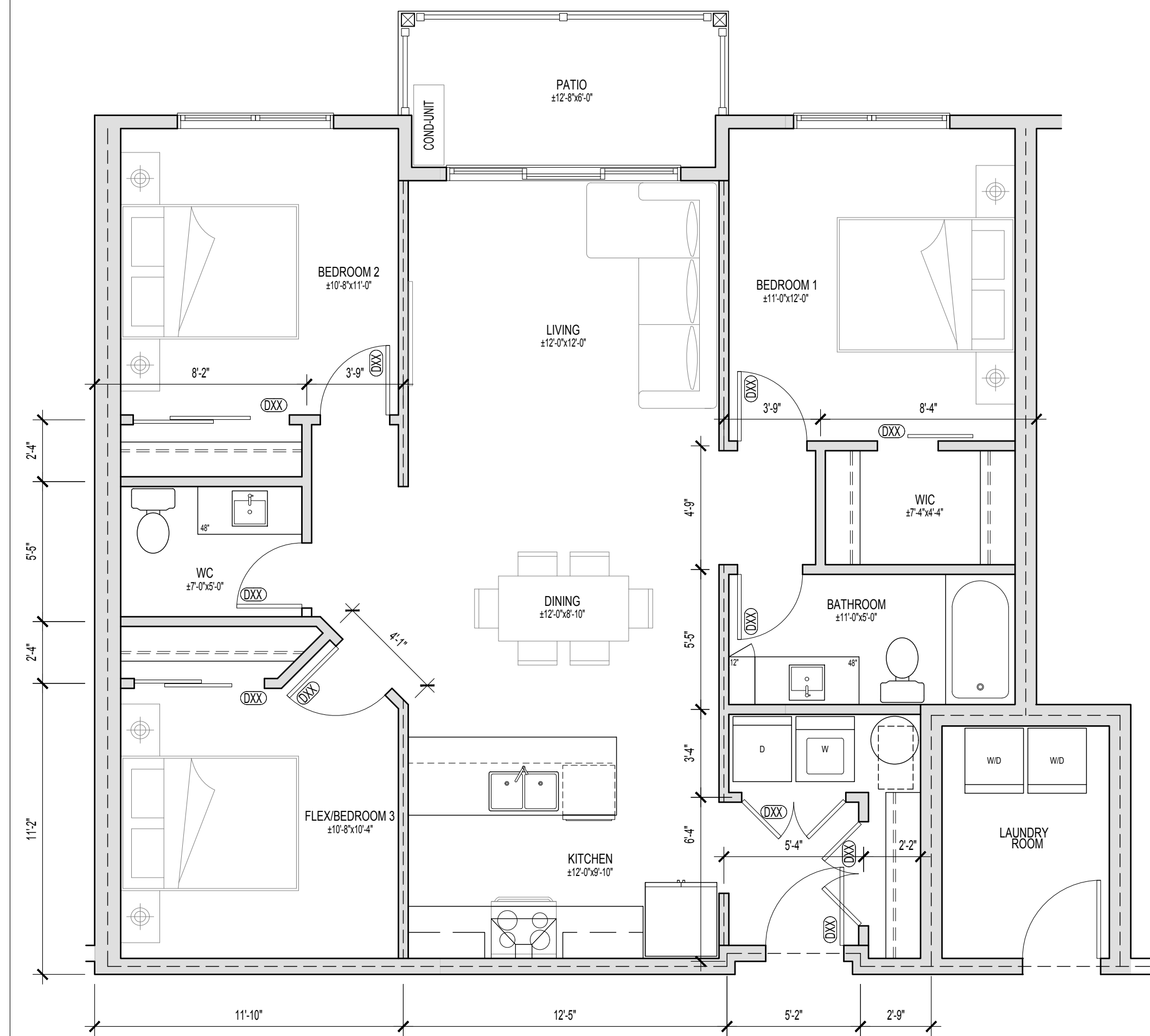
(2 available per floor)

1 ENLARGEMENT PLAN - A - CORNER 2 BEDROOM - 915 SF



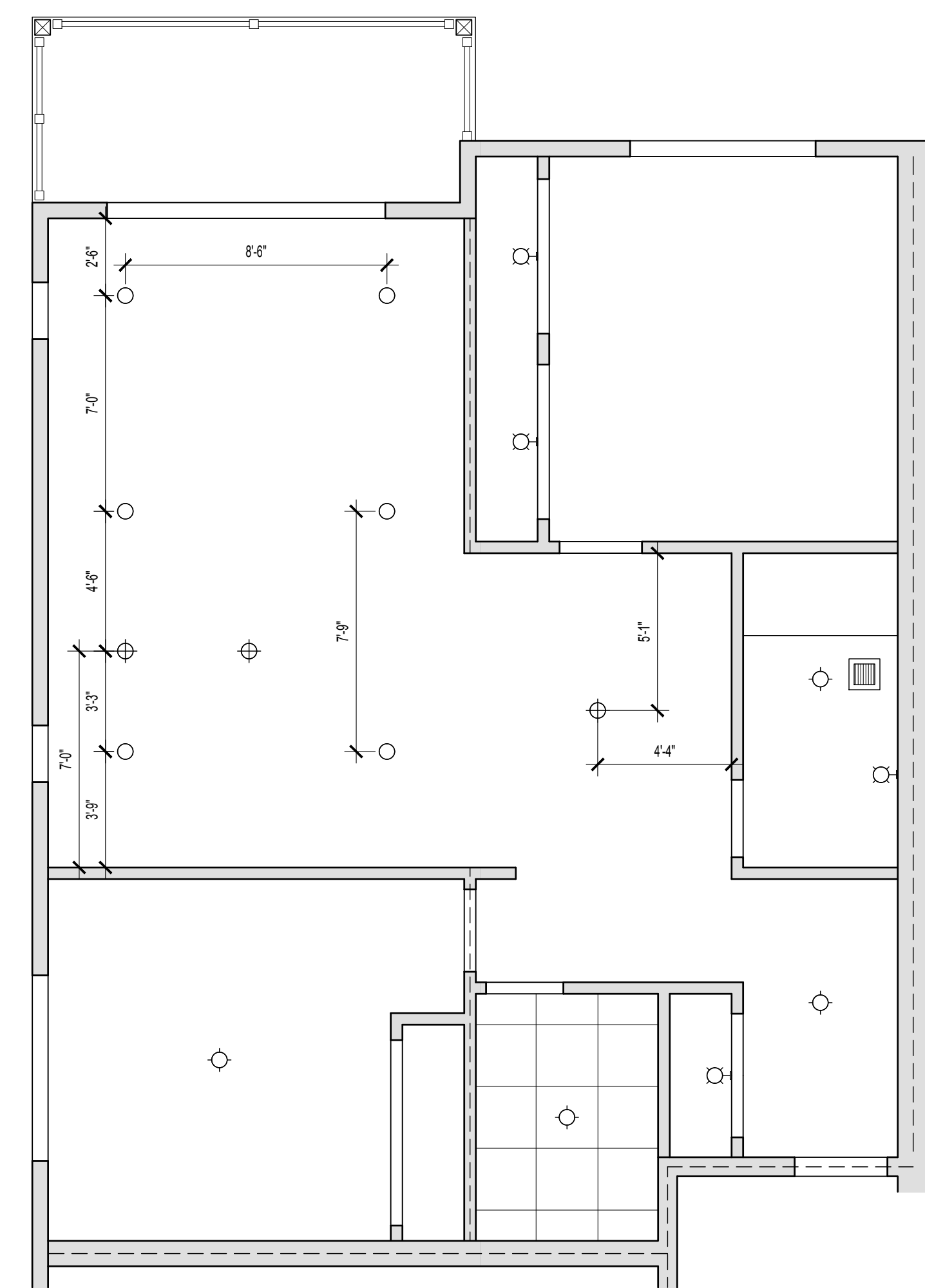
(2 available per floor)

2 ENLARGEMENT PLAN - A.1 - CORNER 2 BEDROOM - 908SF

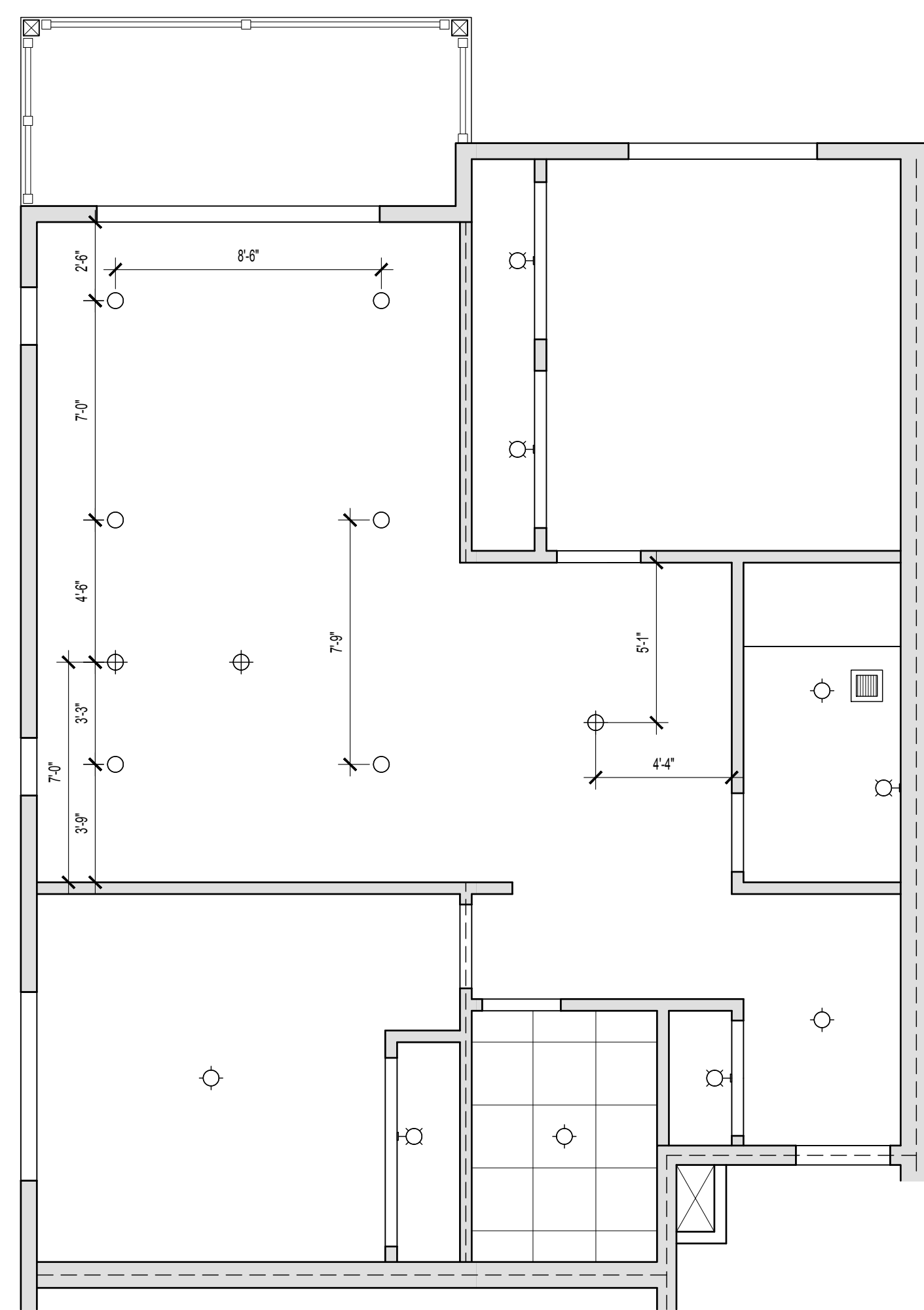


(2 available on main floor)

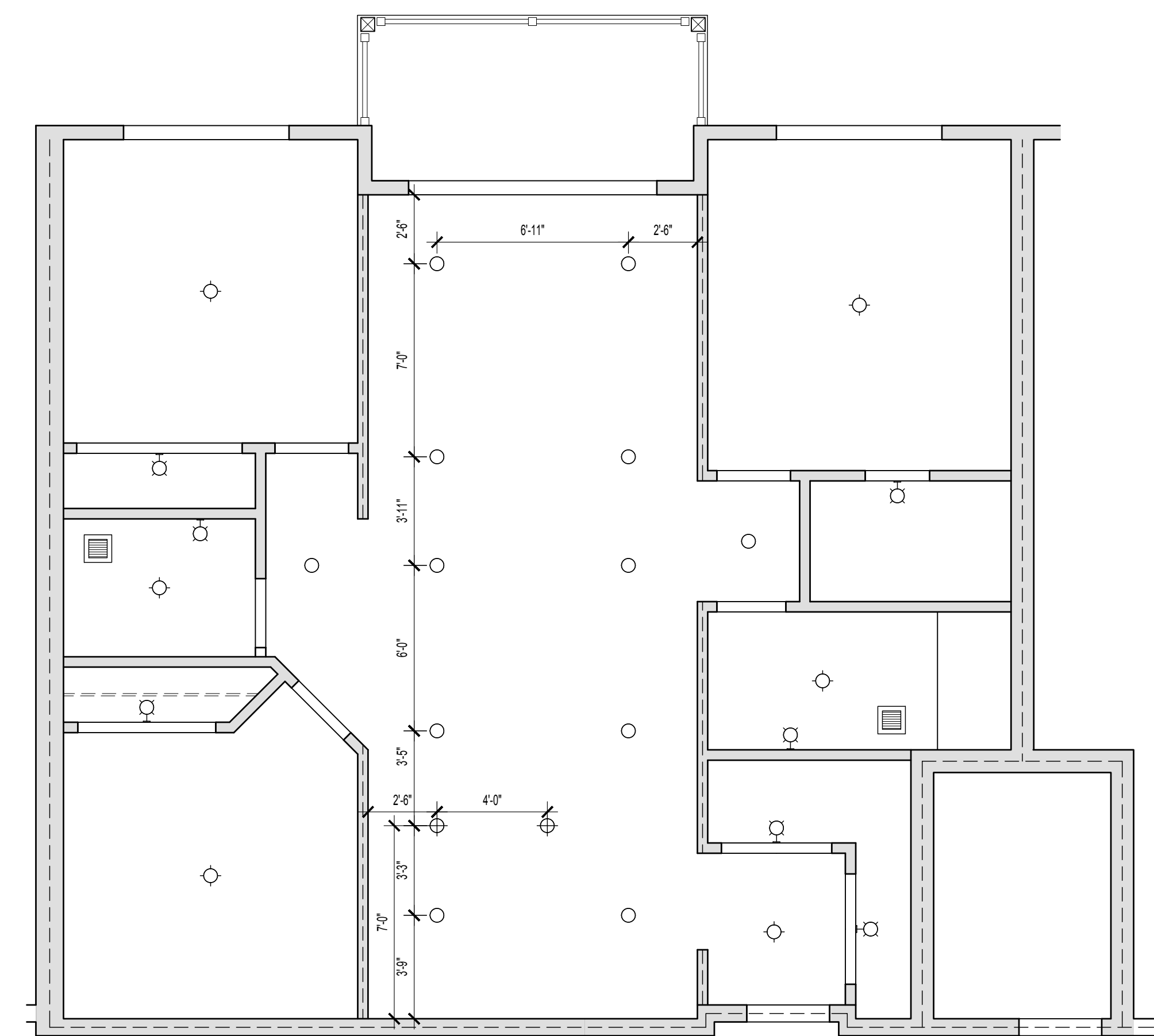
3 ENLARGEMENT PLAN - B.1 - 2 BEDROOM + FLEX - 1030SF



4 REFLECTED CEILING PLAN - A - CORNER 2 BEDROOM



5 REFLECTED CEILING PLAN - A.1 - CORNER 2 BEDROOM



6 REFLECTED CEILING PLAN - B.1 - 2 BEDROOM + FLEX

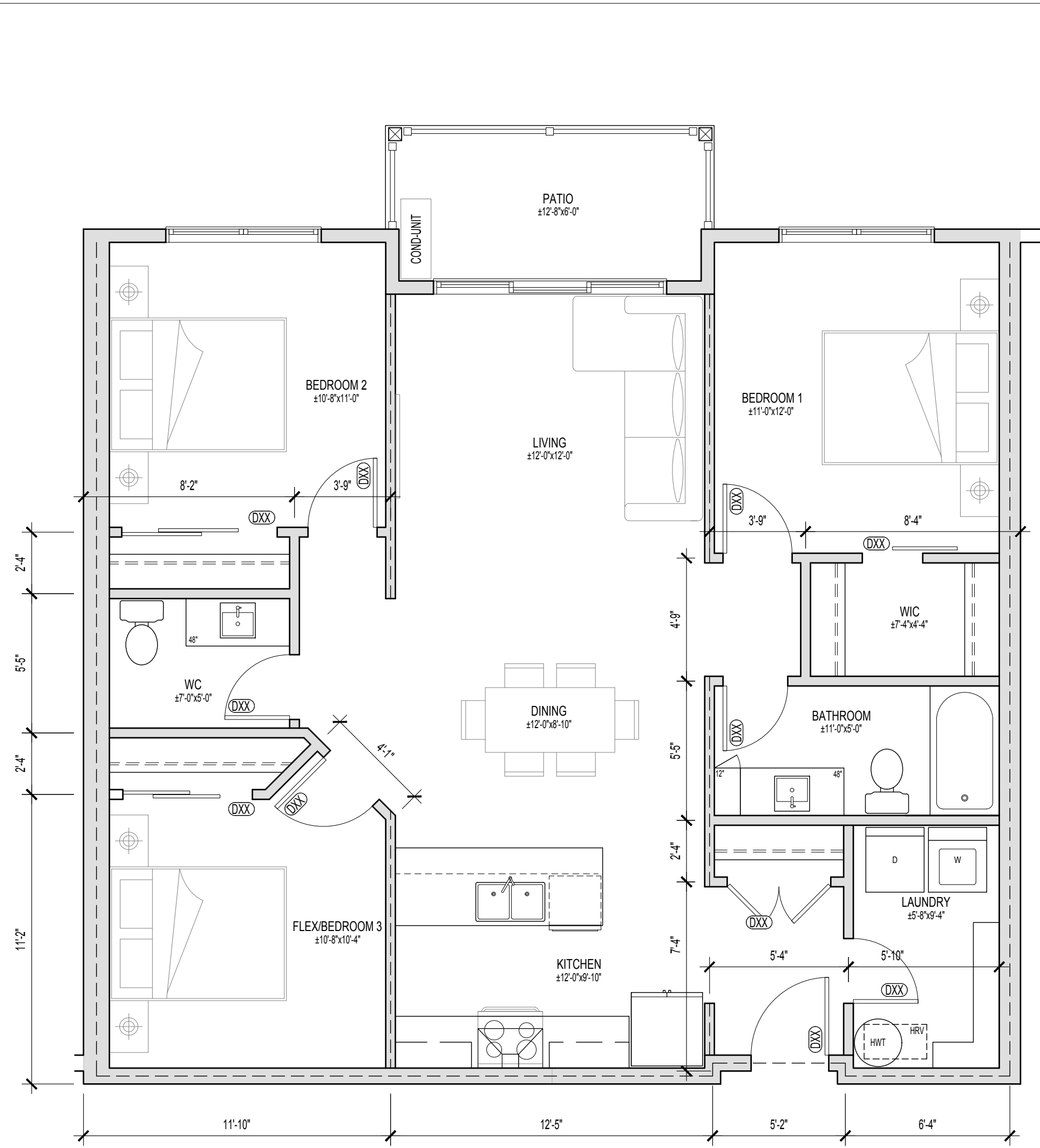
REVISIONS	DATE	#
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**SUITES
ENLARGEMENT**

A4.1

PROJECT #	KUB-2237
DATE	2023.06.05
DRAWN BY	N.MATHIA

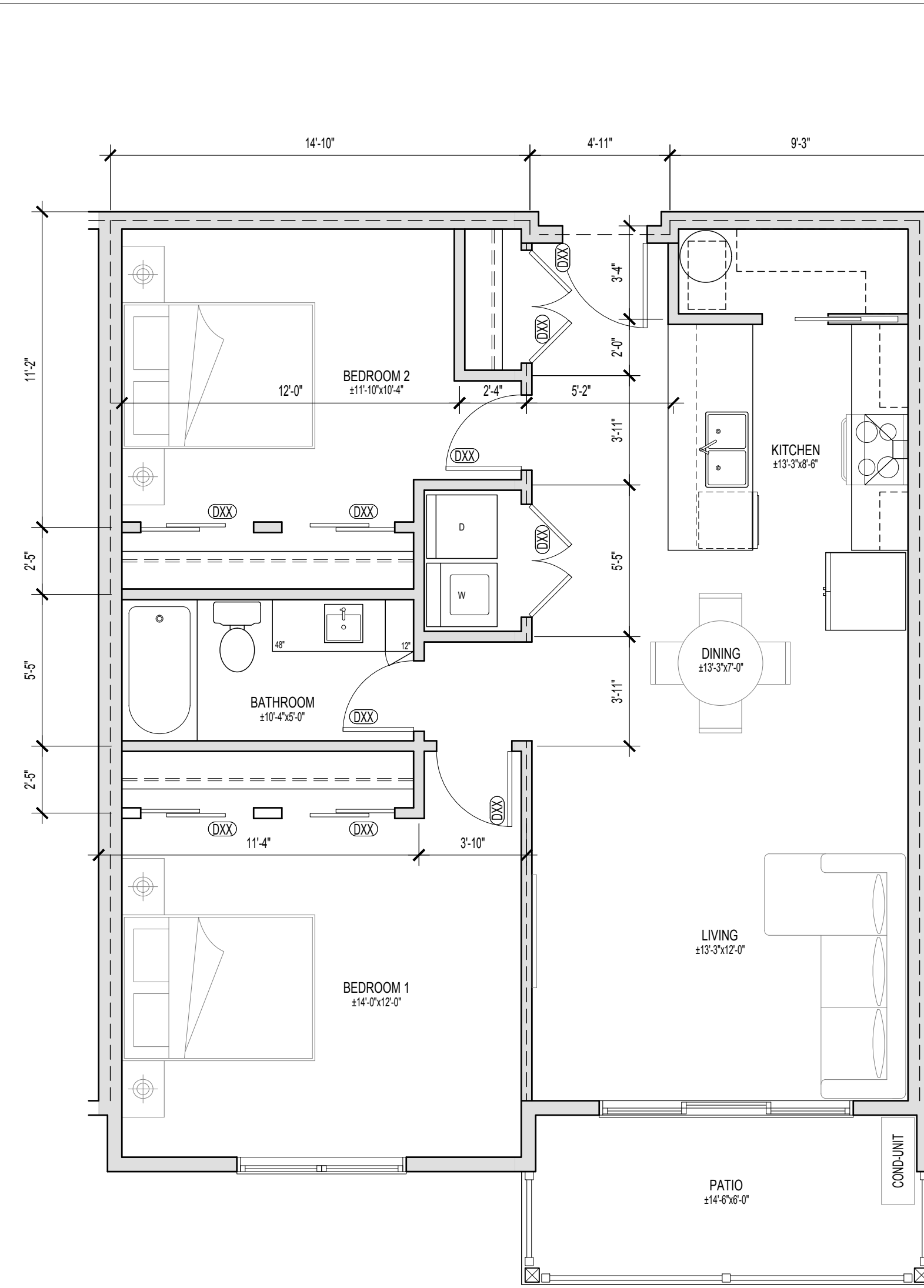
SCALE: 1/4"=1'-0"



(2 available per upper floor)

1 ENLARGEMENT PLAN - B - 2 BEDROOM + FLEX - 1065SF

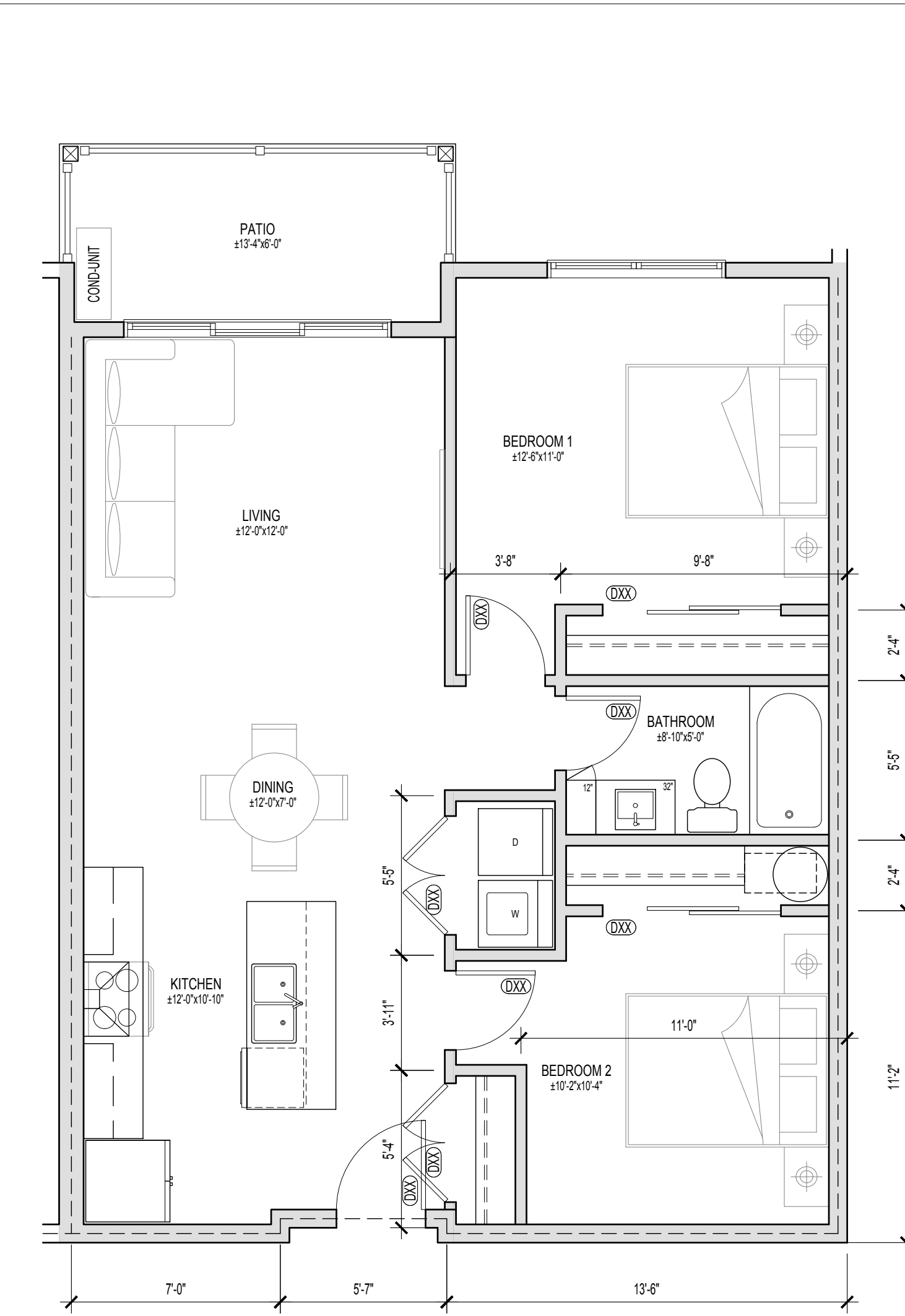
SCALE: 1/4"=1'-0"



(4 available per floor)

2 ENLARGEMENT PLAN - C - 2 BEDROOM - 885SF

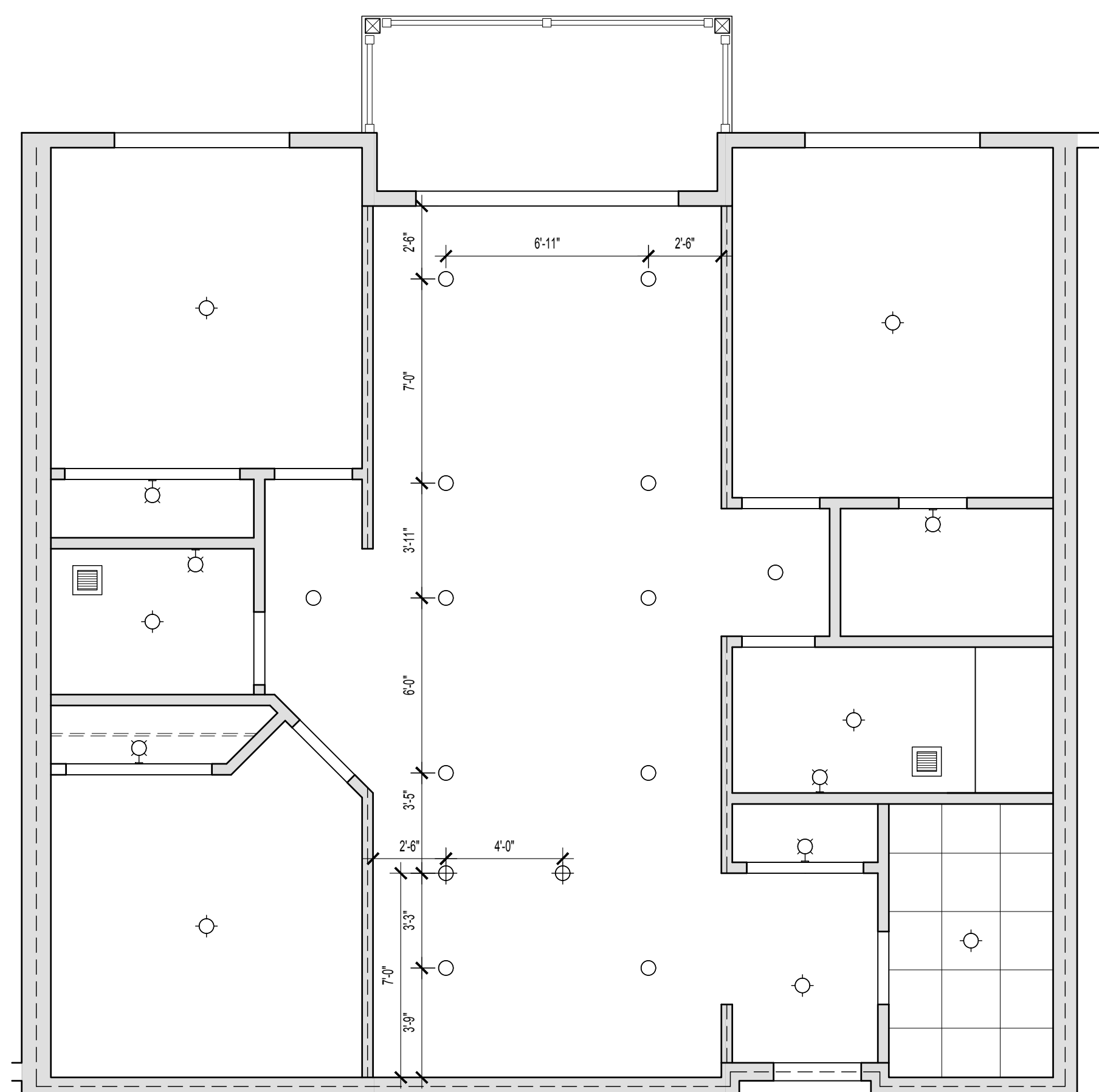
SCALE: 1/4"=1'-0"



(1 available per floor)

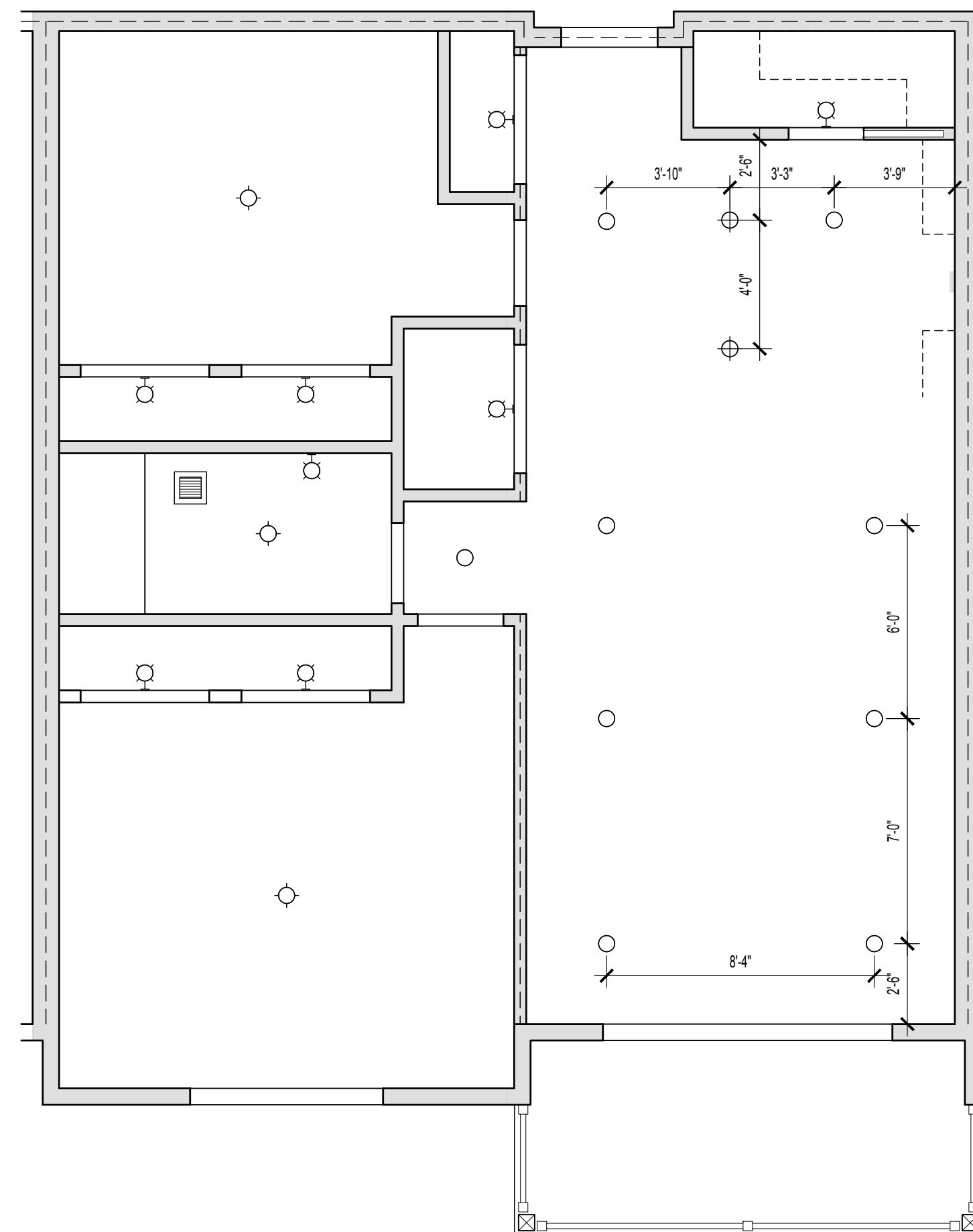
3 ENLARGEMENT PLAN - C.1 - 2 BEDROOM - 772SF

SCALE: 1/4"=1'-0"



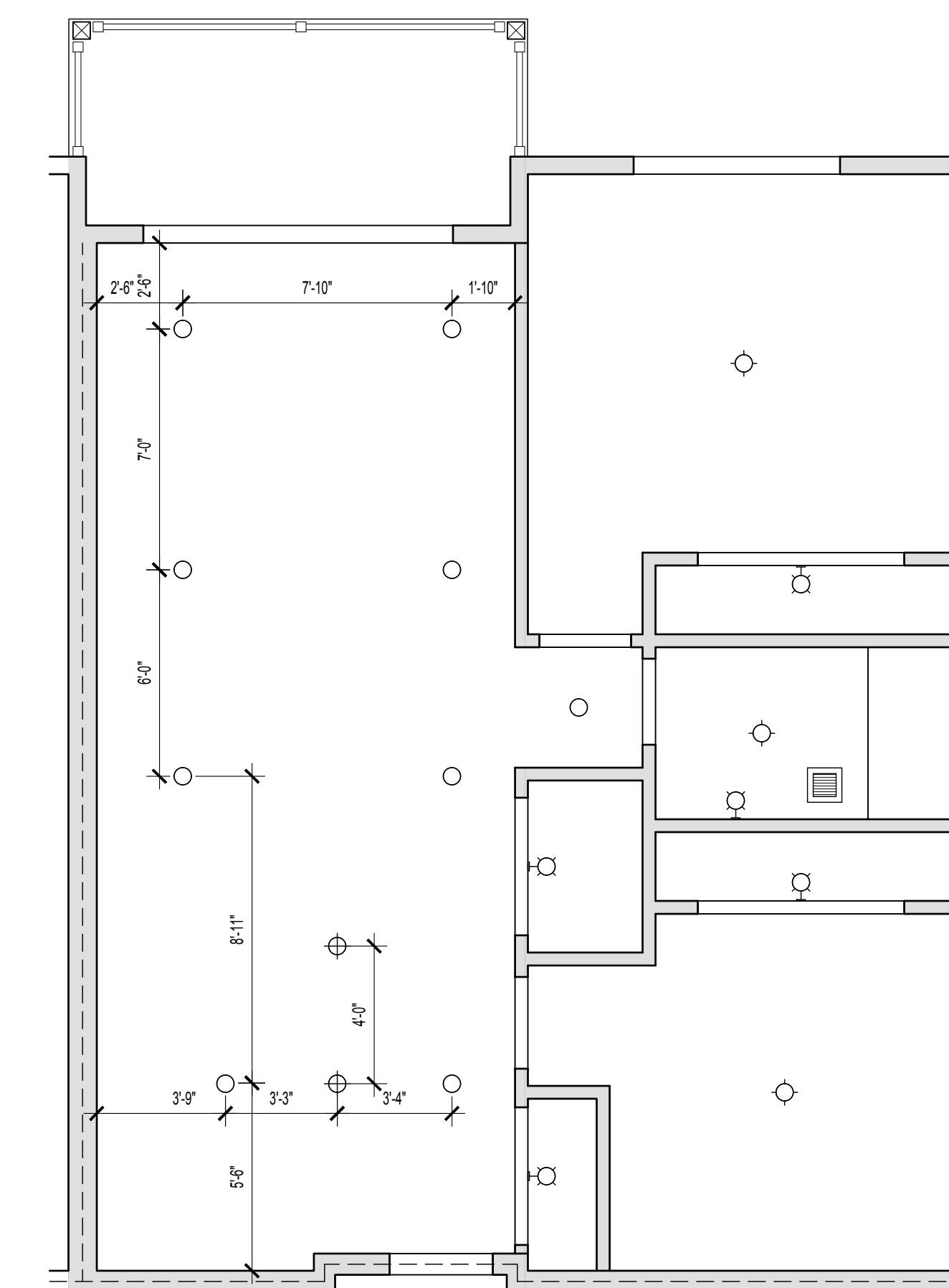
4 REFLECTED CEILING PLAN - B - 2 BEDROOM + FLEX

SCALE: 1/4"=1'-0"



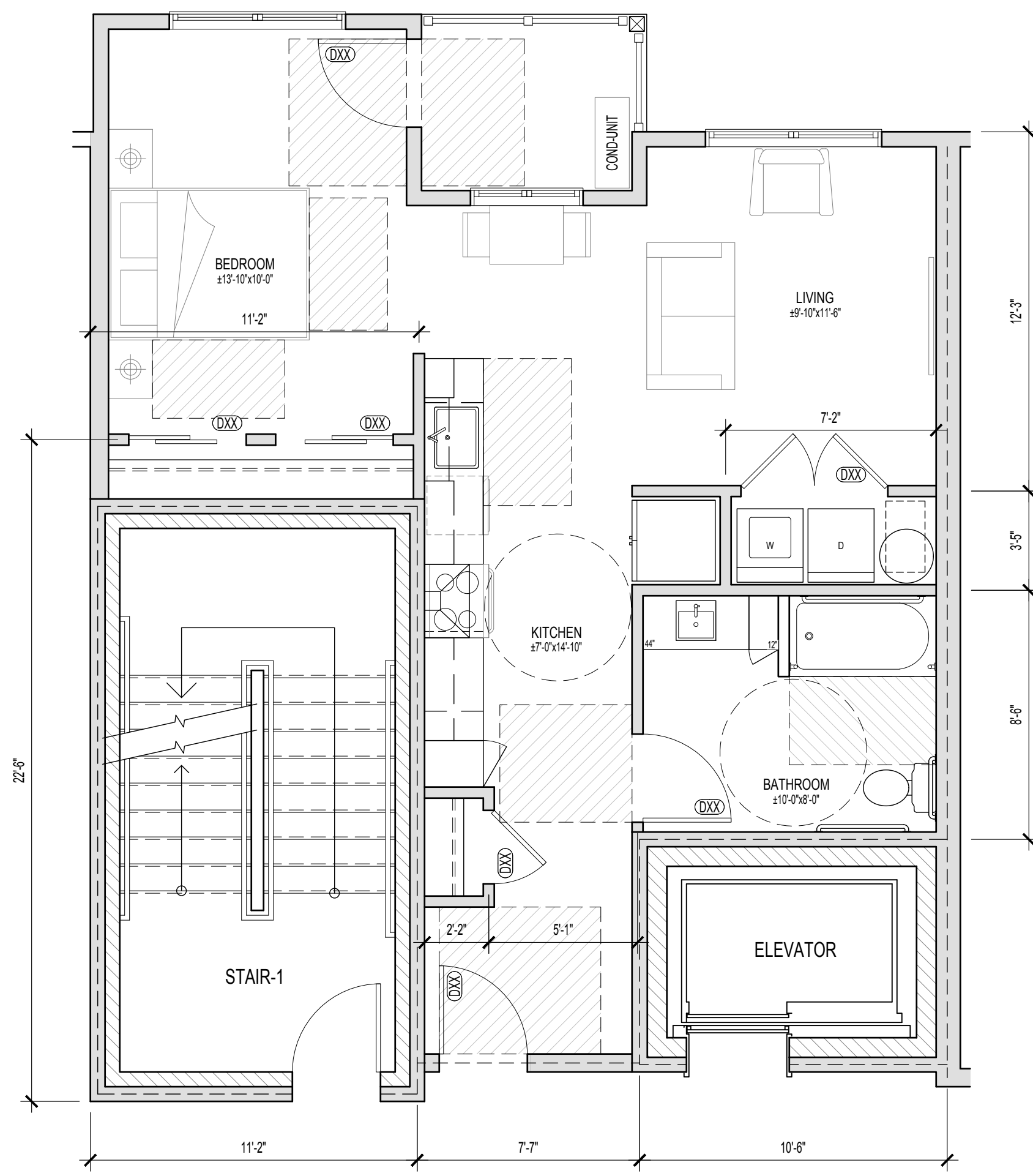
5 REFLECTED CEILING PLAN - C - 2 BEDROOM

SCALE: 1/4"=1'-0"



6 REFLECTED CEILING PLAN - C.1 - 2 BEDROOM

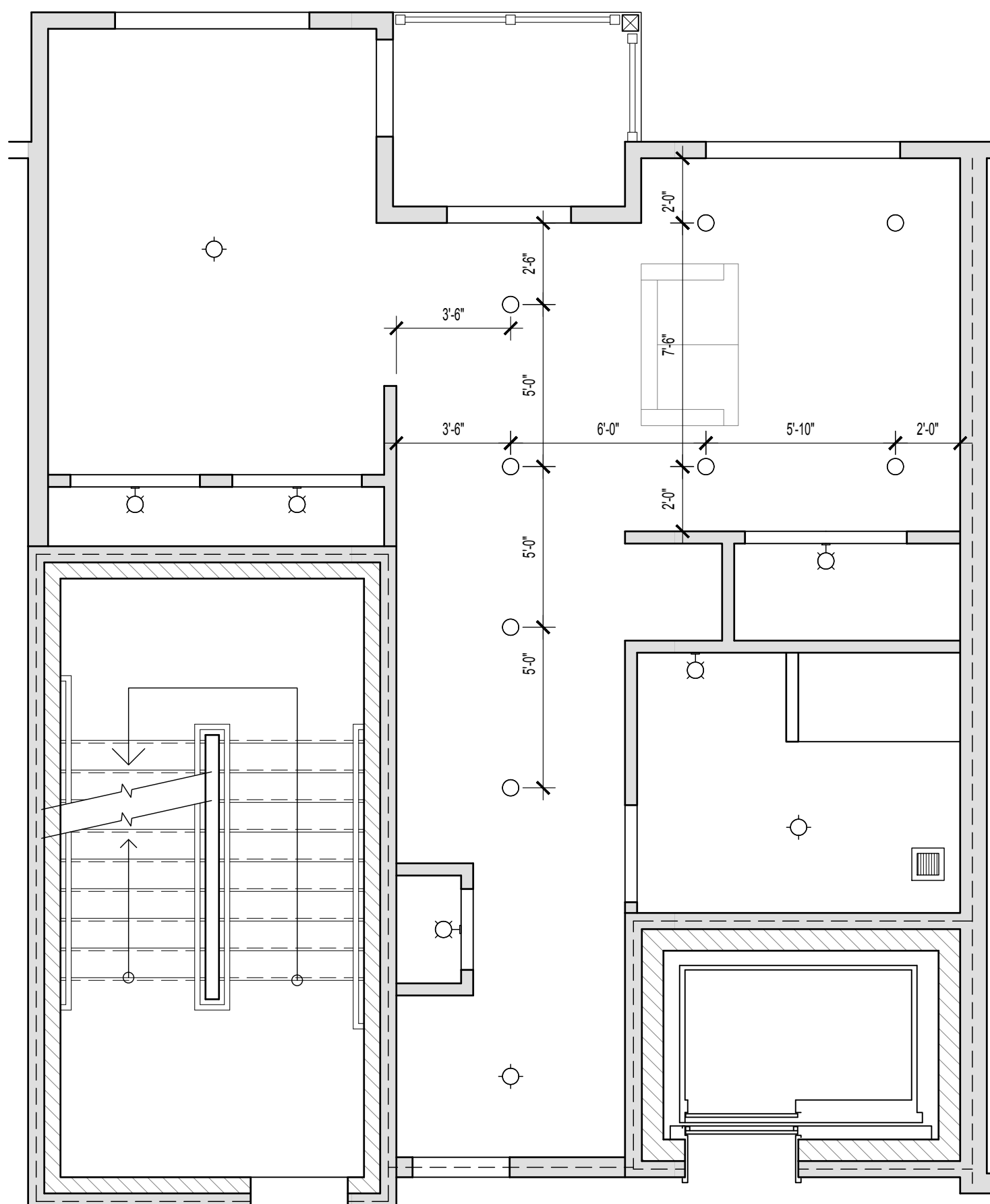
SCALE: 1/4"=1'-0"



(1 available per upper floor)

1 ENLARGEMENT PLAN - D - STUDIO BF - 613 SF

SCALE: 1/4"=1'-0"



2 REFLECTED CEILING PLAN - D - STUDIO BF

SCALE: 1/4"=1'-0"

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111 JOYCE AVE, MONCTON, NB

REVISIONS	DESCRIPTION	DATE	#
	PRELIMINARY		

**SUITES
ENLARGEMENT**

A4.3

PROJECT # KUB-2237
DATE 2023.06.05
DRAWN BY N.MALHOTRA







